

Town of Chevy Chase View

Character Study

Public Meeting
November 12, 2015



Agenda

- 1 Review the goals and objectives of the character study
- 2 Summarize the approach and findings of the study
- 3 Propose a definition for the character of Chevy Chase View
- 4 Identify risks to the character of Chevy Chase View

Engage in a dialog with residents to achieve a common understanding and discuss potential ways to preserve the character of the Town

1 Goals and Objectives

Goal: To establish a definition for the character of the Town by identifying and assessing the elements that contribute and reinforce that character

Why?

- To provide the Town with guidance for applying **existing** requirements within the Building Regulations and for granting variances
 - Section 13-608(c)(3)(ii): “the variance will not be contrary to the purposes and intent of the building regulations, which are to preserve open vistas, sight lines, privacy, spacious appearance, and character of Chevy Chase View”.
- To inform and educate the community about changes in the appearance of the neighborhood that are occurring over time, which the community **may want** to further assess, or subsequently address through changes in its building regulations



1 Goals and Objectives (continued)

What we are NOT doing:

- Trying to make houses smaller
- Defining an acceptable architectural style
- Writing new building regulations
- Placing new restrictions on the use of lots
- Creating a design review committee



1 Goals and Objectives (continued)

If findings indicate areas for concern where the character is at risk...then the Town can decide how best to address them.

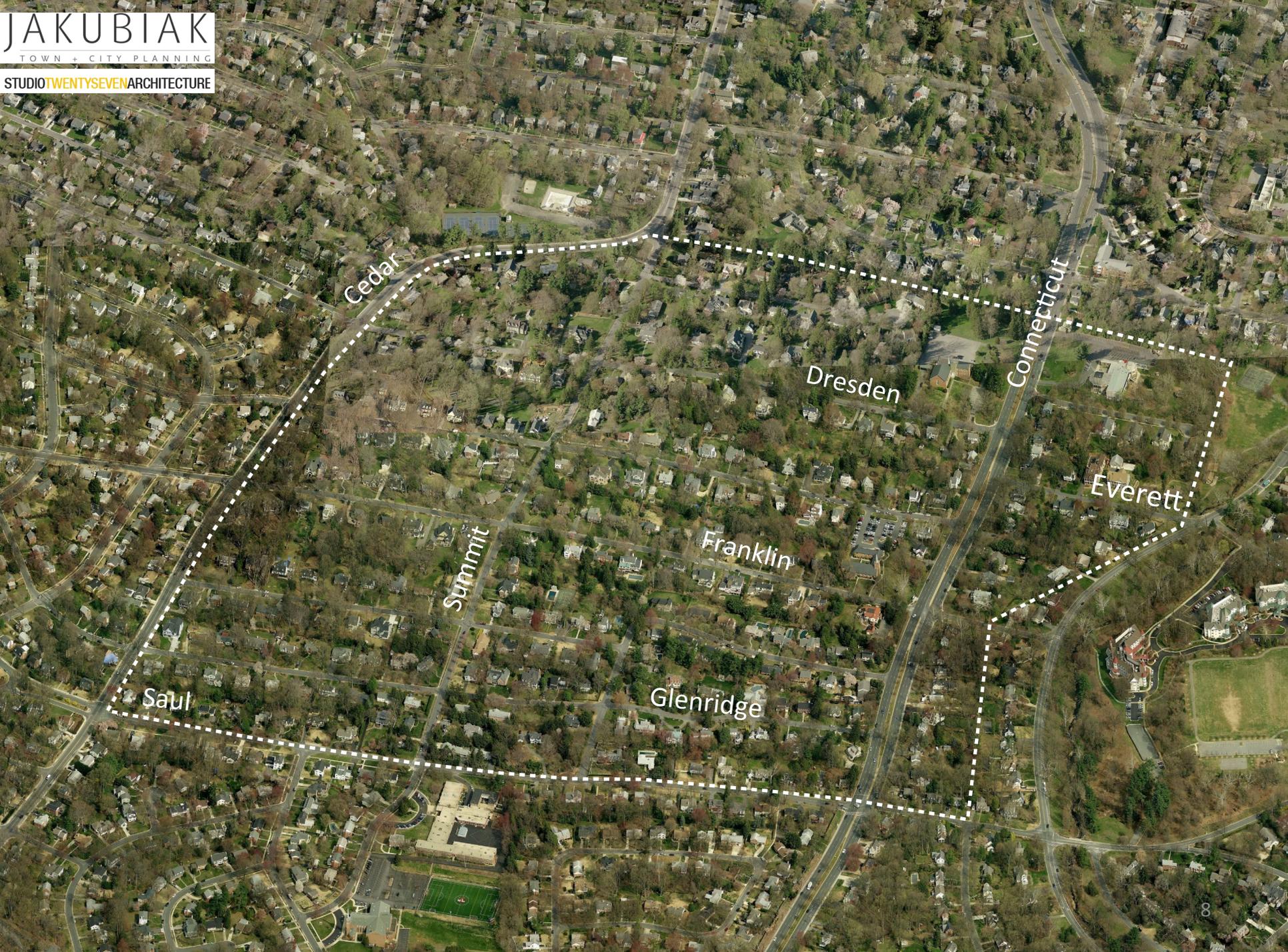
2 The Study and Findings

- Character is formed by the natural and landscaped environment and the buildings in it. Character is found in the interplay between these.
- Therefore, we studied:
 - the overall Town including its topography, vegetation, streetscape, and a sampling of houses within the Town.

2 The Study and Findings

Physical Elements of Character:

- Terrain, lot layout, street orientation, landscape
- Viewsheds (the surroundings visible from a vantage point)
- Tree cover (including street trees and screening)
- Impervious surface area / lot coverage
- Setbacks: front, rear, sides
- Spatial enclosure along street
- Spatial enclosure – side yards
- Building massing (especially facing street)
- Location and massing of garages
- Lot access practices (driveway, lead walks, grading)



Cedar

Dresden

Connecticut

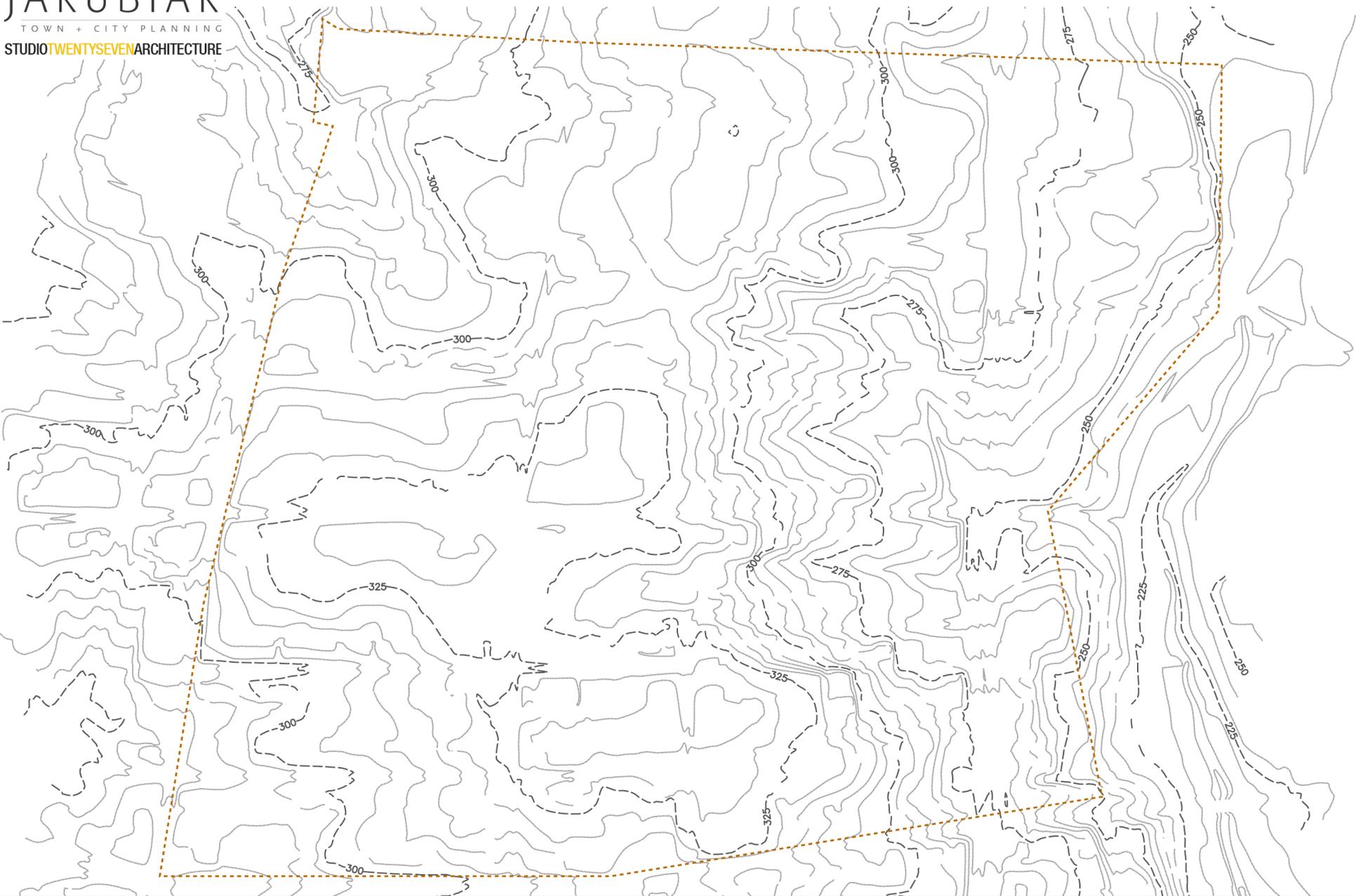
Everett

Summit

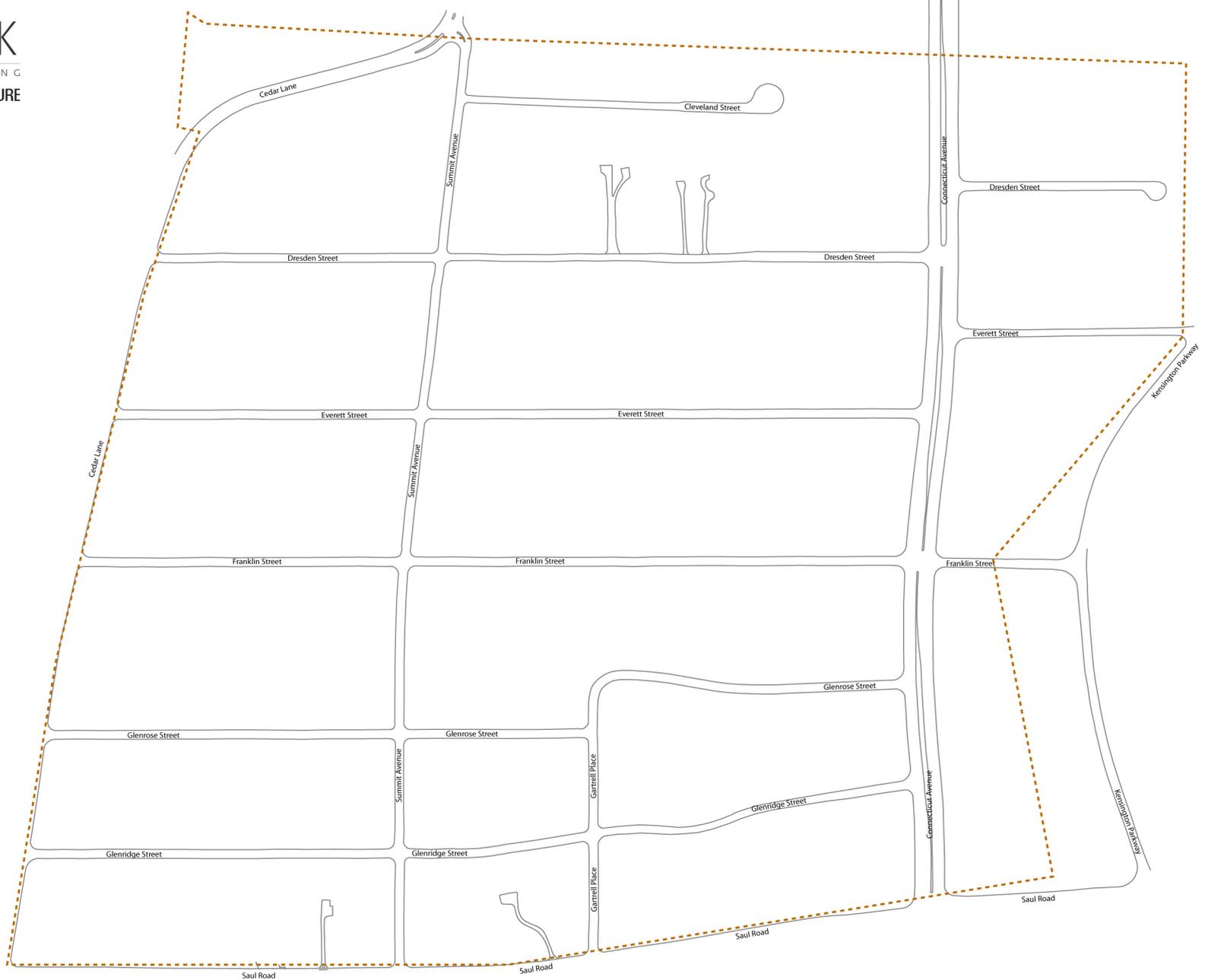
Franklin

Glenridge

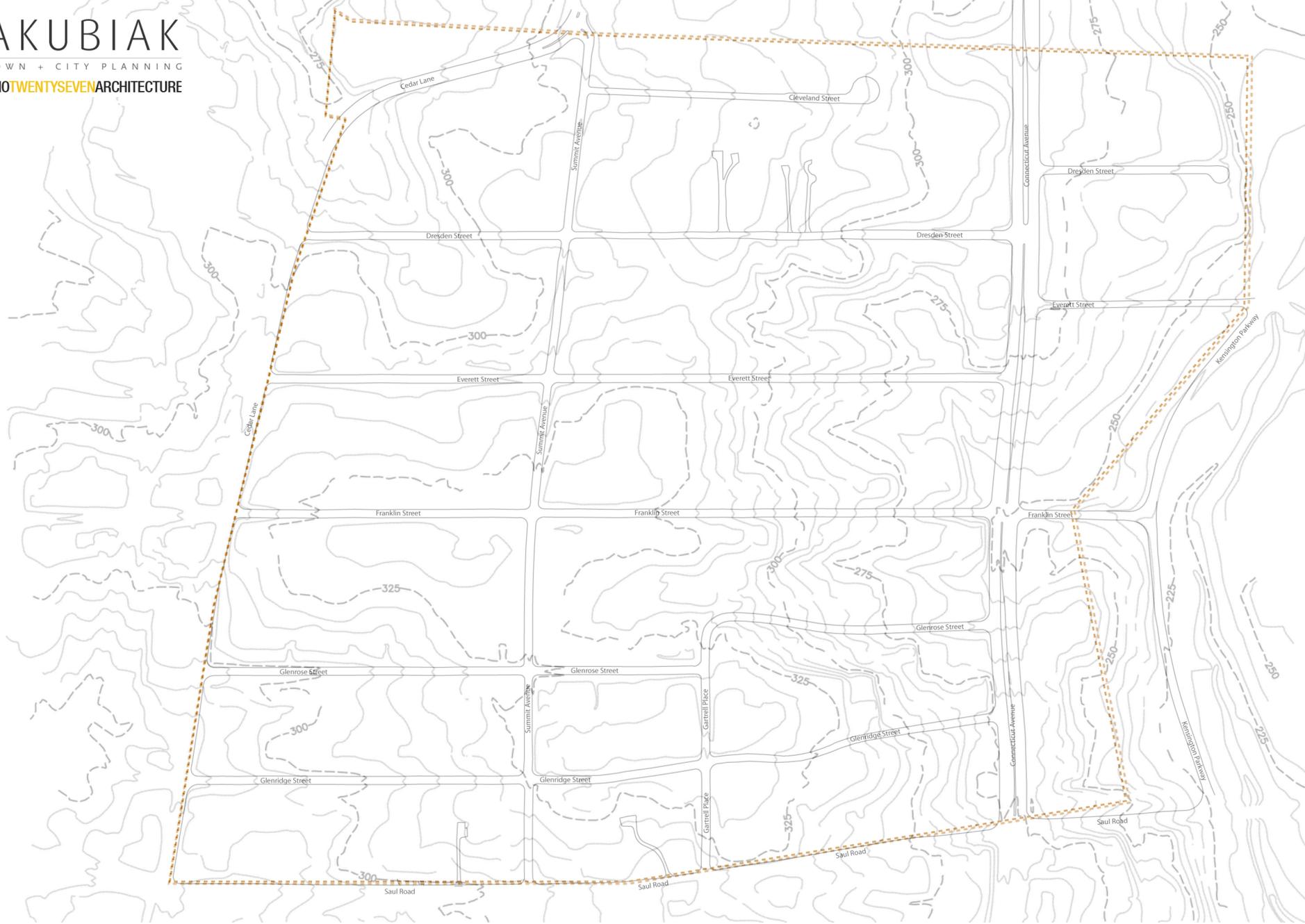
Saul



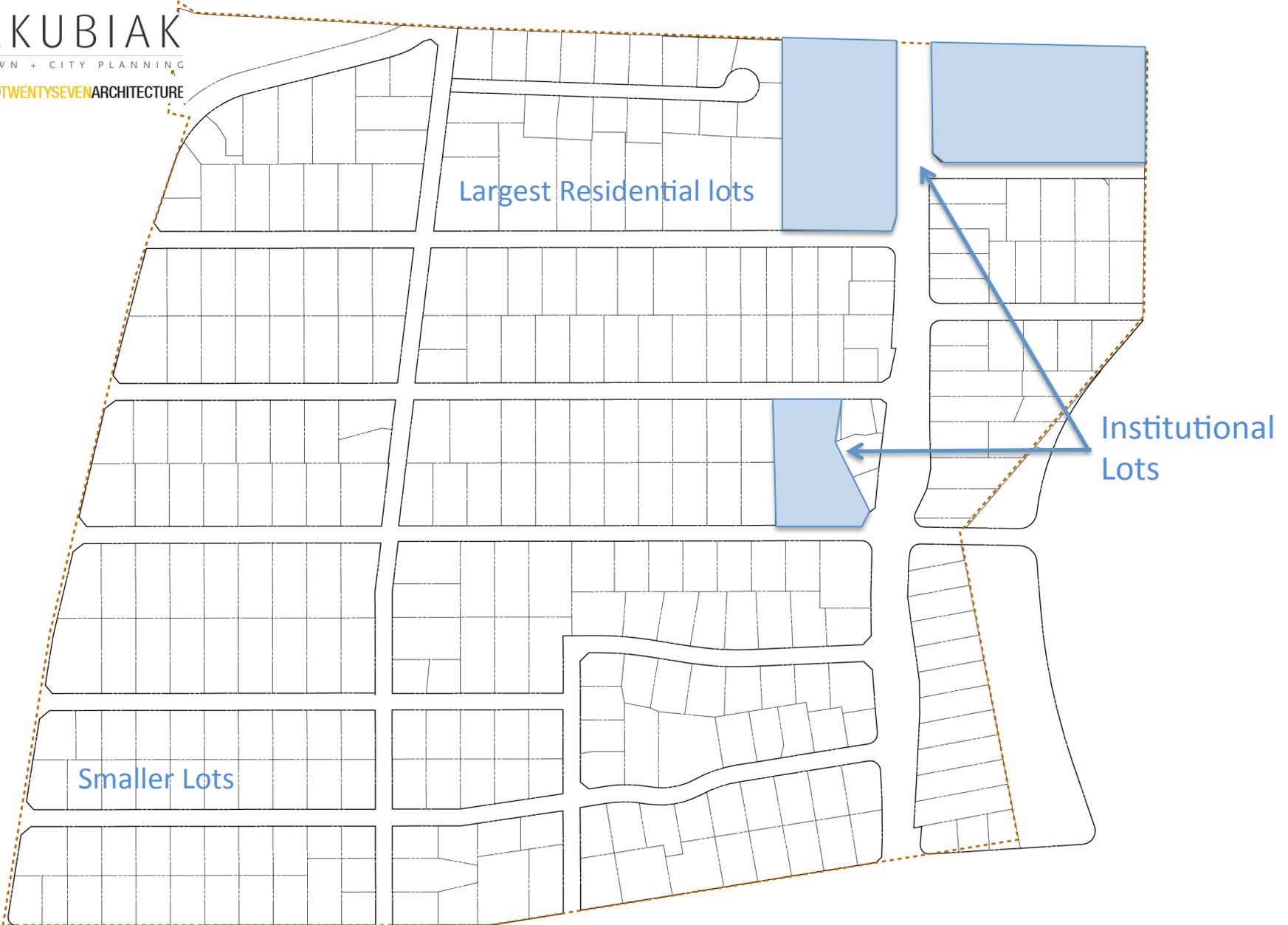
This topographic map shows contour lines. Each line connects points of equal elevation. It reveals the presence of a level plateau or “summit” in the central part of Town (the lines are spaced far apart) and a slope downward toward Connecticut Ave. the lines are closely spaced).



The grid street system in Town is modified somewhat by the presence of steep slopes (see Glenrose Street and Gartrell Place).



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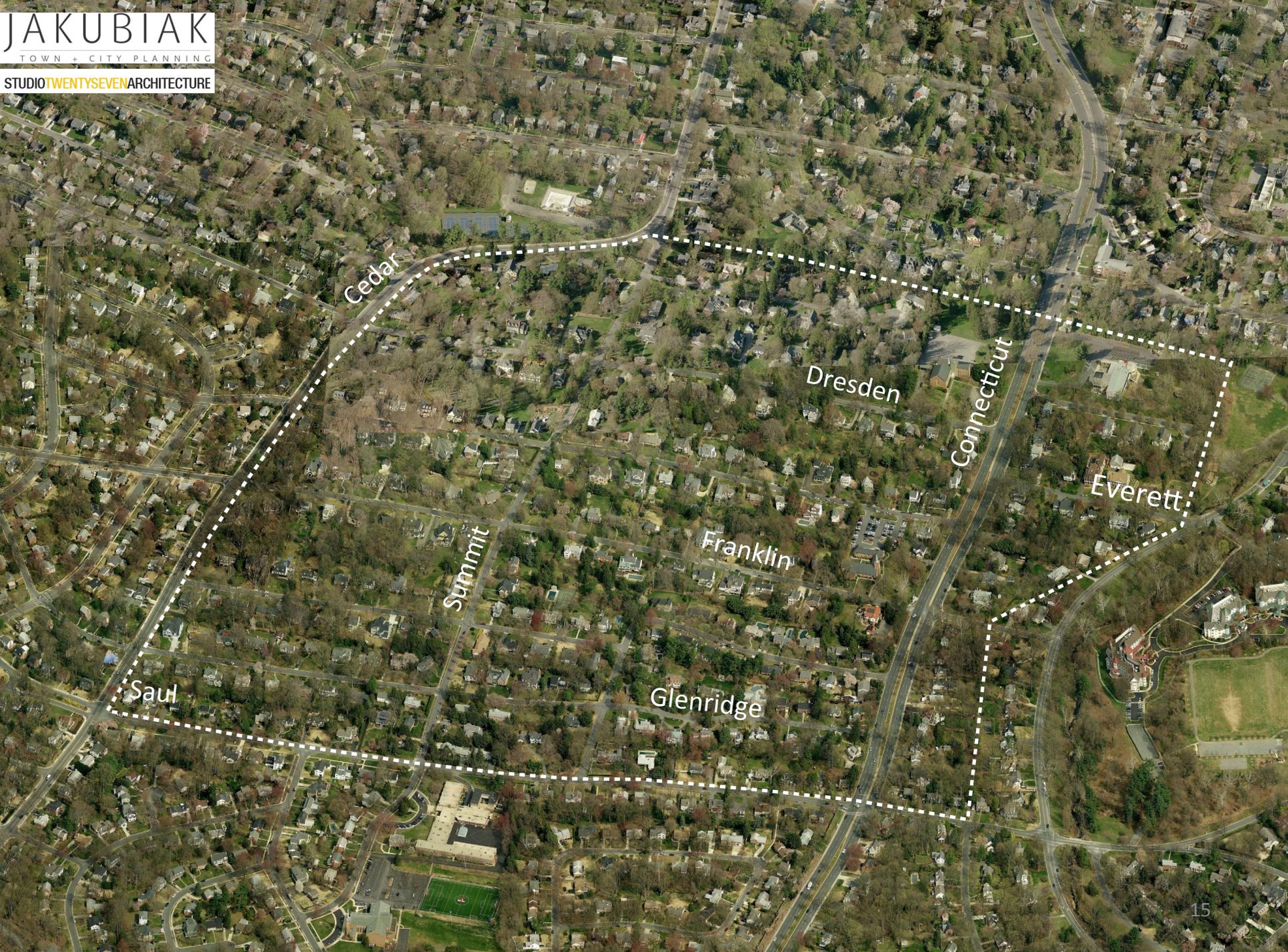
Lot patterns are revealed here. Note the larger and deeper lots on the north side of Dresden Street and the smaller lots in the southwest corner of the Town. Lots widths along Connecticut Avenue, south of Franklin tend to be narrow.

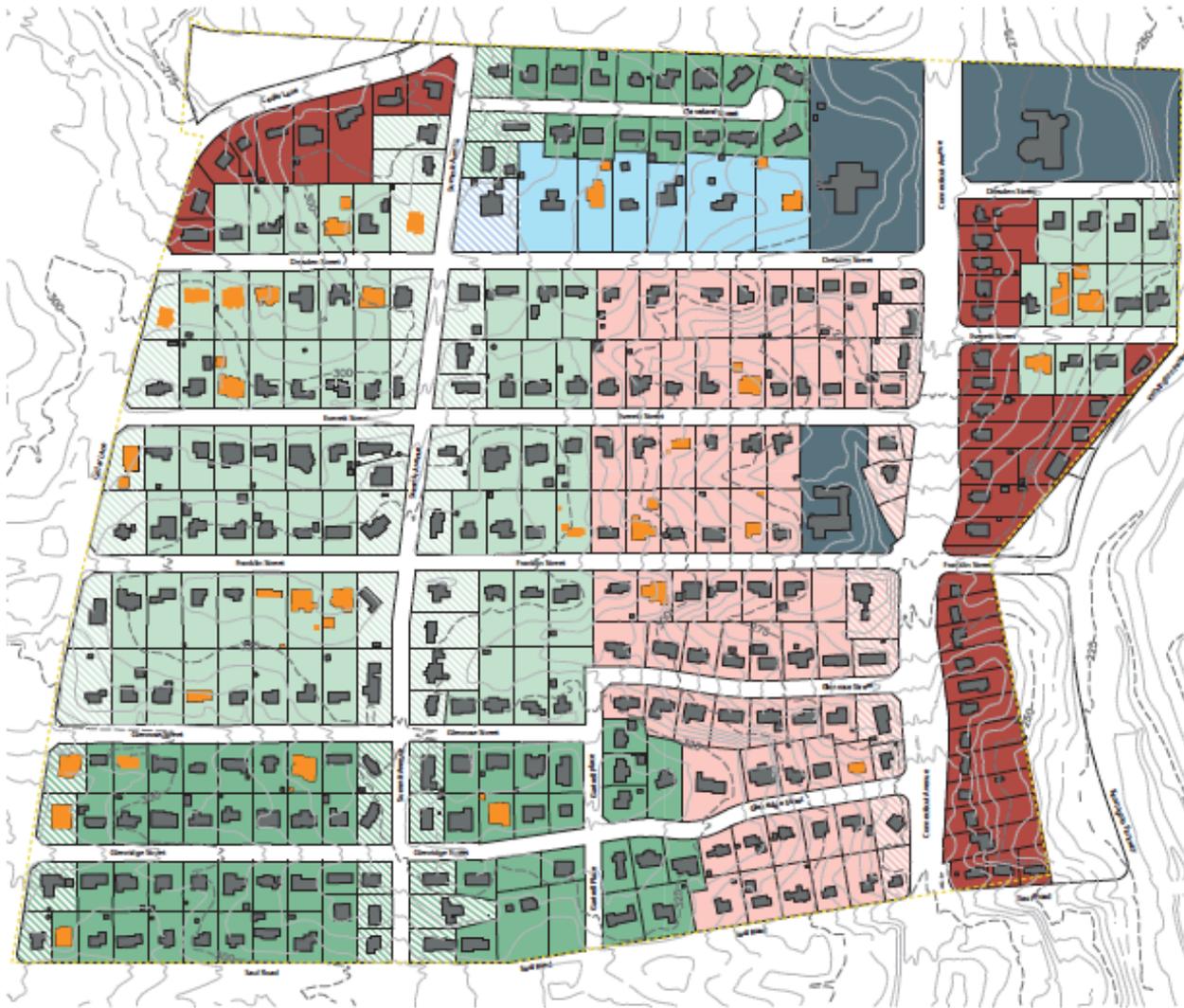


The placement of buildings shows strong adherence to front setbacks over time and strong street space definition especially where lots are smaller and houses are closer to street.



A composite of our previous mapping layers and our first attempt to “draw” distinctive “character areas”. This map shows locations of recent construction activities (blue and grey buildings) based on our preliminary review of building permit data. We have since updated this somewhat.





- A** Lots fronting wider and heavier trafficked Connecticut Avenue and Cedar Lane
- B** Situated on the 'plateau' of Chevy Chase View, typical lots with deeper backyards
- B'** Similar to B, but bordering Summit Ave or Cedar Lane
- C** Smaller lots with shallower backyards
- C'** Similar to C, but bordering Summit Ave or Cedar Lane
- D** Similar to B, but affected by slope down to Connecticut Avenue
- D'** Similar to D, but bordering Connecticut Avenue
- E** Very deep lots with atypical setbacks
- E'** Similar to E, but bordering Summit Avenue
- F** Non-residential properties

New Building permits Issued:
 Houses: 2001 to September 30, 2015

2 The Study and Findings

Character Area A

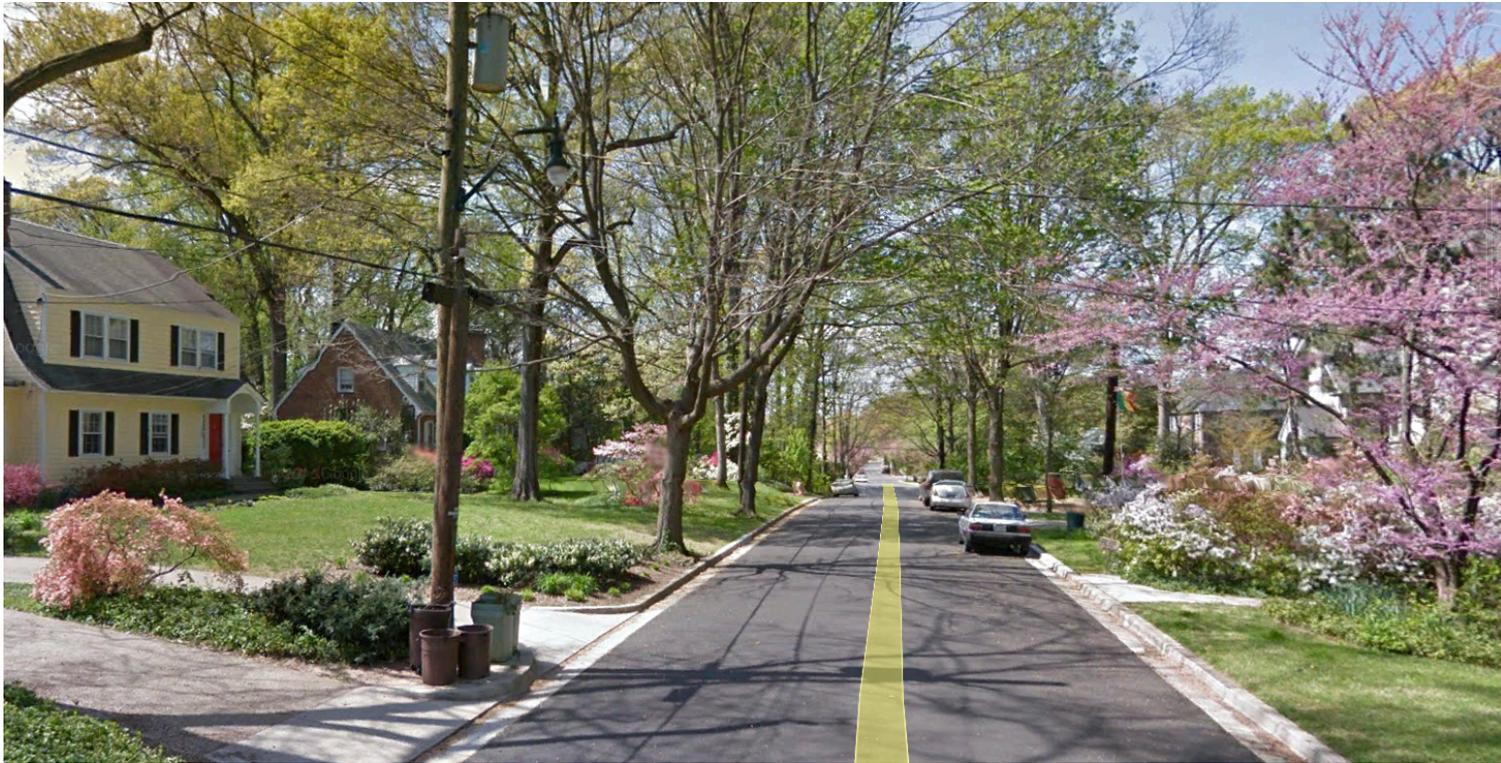
With few exceptions, houses are screened from the street with established trees and/or evergreen hedges. Lots along the east side of Connecticut Ave. can be quite deep.



2 The Study and Findings

Character Areas B and B'

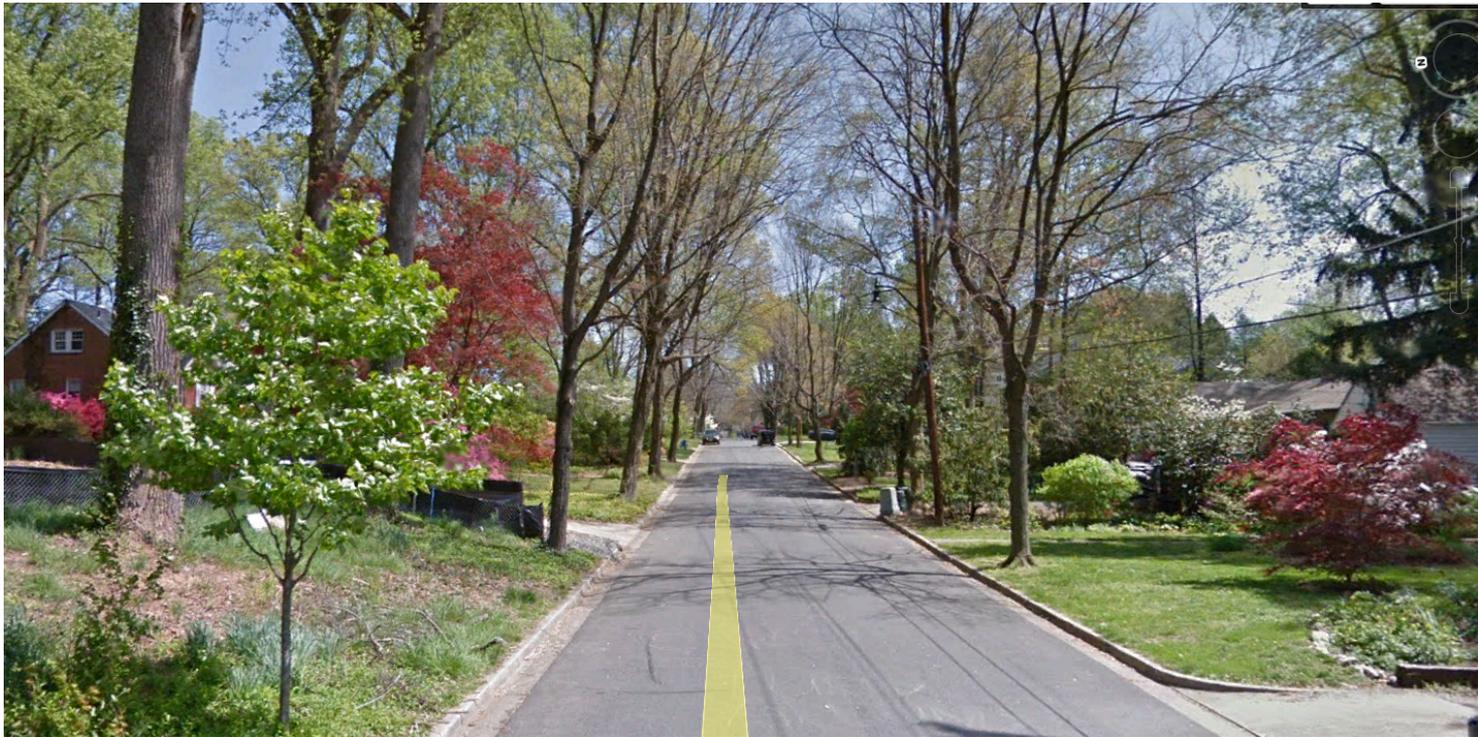
Most lots are unaffected by topography. Strong use of vegetation. The tree canopy strongly harmonizes the streetscape. Buildings are set within a landscape of trees.



2 The Study and Findings

Character Areas C and C'

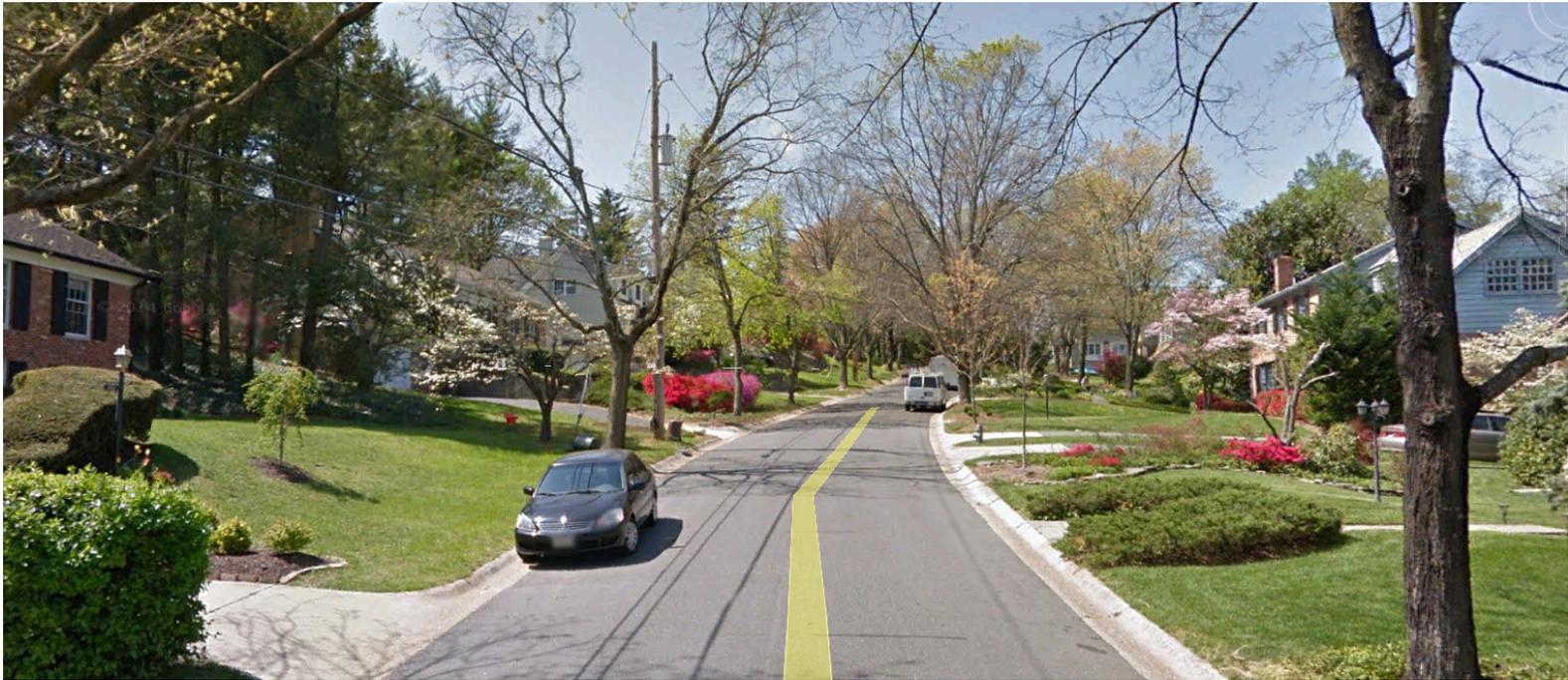
Like Areas B and B', except that lot depths are smaller. Because the front yard is similar to that found elsewhere, it is the back yard that is much smaller. Note how the houses and driveways blend into the landscape.



2 The Study and Findings

Character Areas D and D'

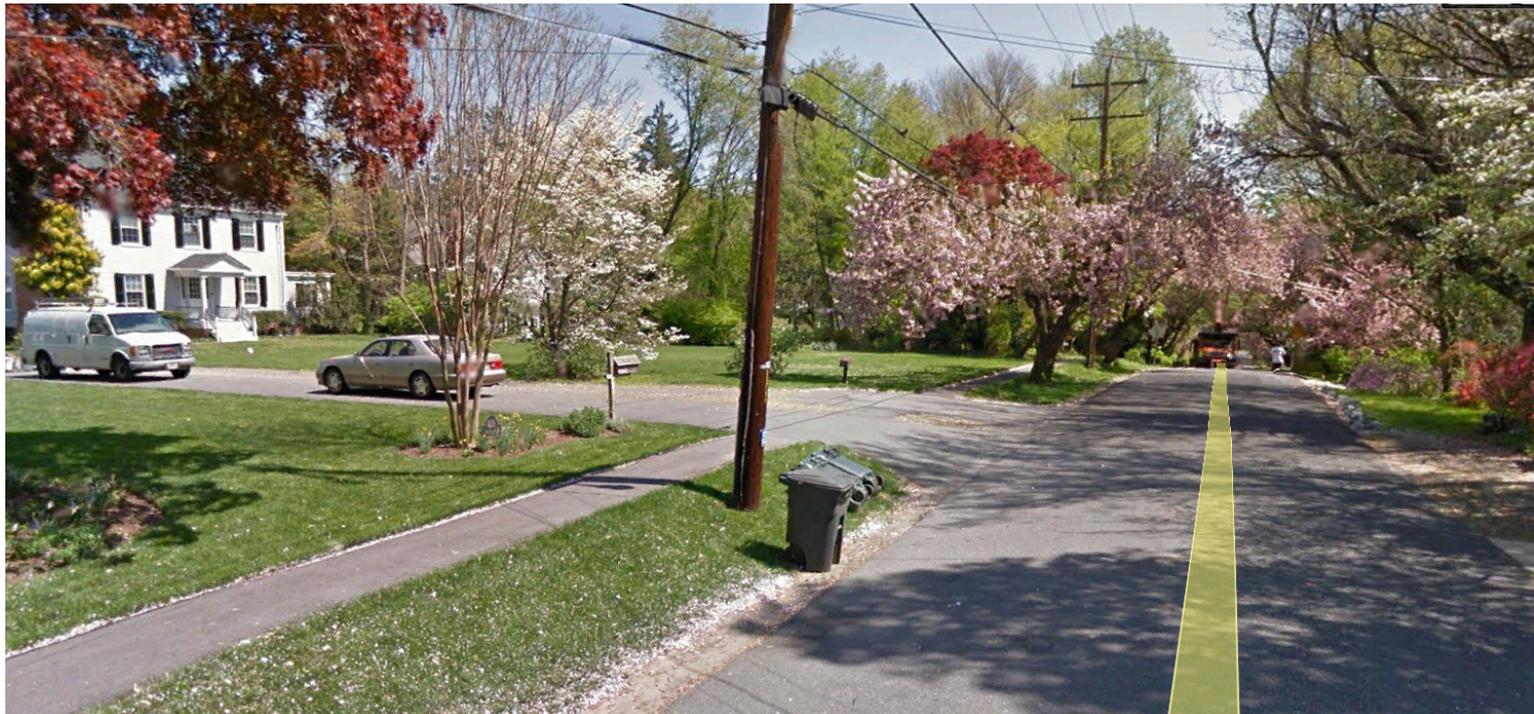
Lots are strongly impacted by topography. Front yards gently slope in concert with the overall landscape. Lots were not mass-graded to provide level building sites. Driveways do not routinely cut deeply into the terrain.



2 The Study and Findings

Character Area E and E'

Very deep lots along the north side of Dresden. Little topographic variation. Because houses are set back so far, they do not enclose the streetscape like elsewhere. The front yards are wide and deep.



2 The Study and Findings

Character Area F

Institutional lots are large and well landscaped. Buildings are setback far onto the lots, parking lots are screened where needed.



Summit and Dresden, looking east

Dresden Street at Connecticut Ave, Kensington Baptist Church

2 The Study and Findings: Construction Since 1999

There are 309 houses in Town. Since 1999:

- 31 new houses were constructed through tear down and rebuilding, equal to 10% of the total houses in Town.
- 80 permits were issued for additions that have impacted the street view.

New Houses, Permits Issued: 2000 – 2003



A Lots fronting wider and heavier trafficked Connecticut Avenue and Cedar Lane

B Situated on the 'plateau' of Chevy Chase View, typical lots with deeper backyards

B' Similar to B, but bordering Summit Ave or Cedar Lane

C Smaller lots with shallower backyards

C' Similar to C, but bordering Summit Ave or Cedar Lane

D Similar to B, but affected by slope down to Connecticut Avenue

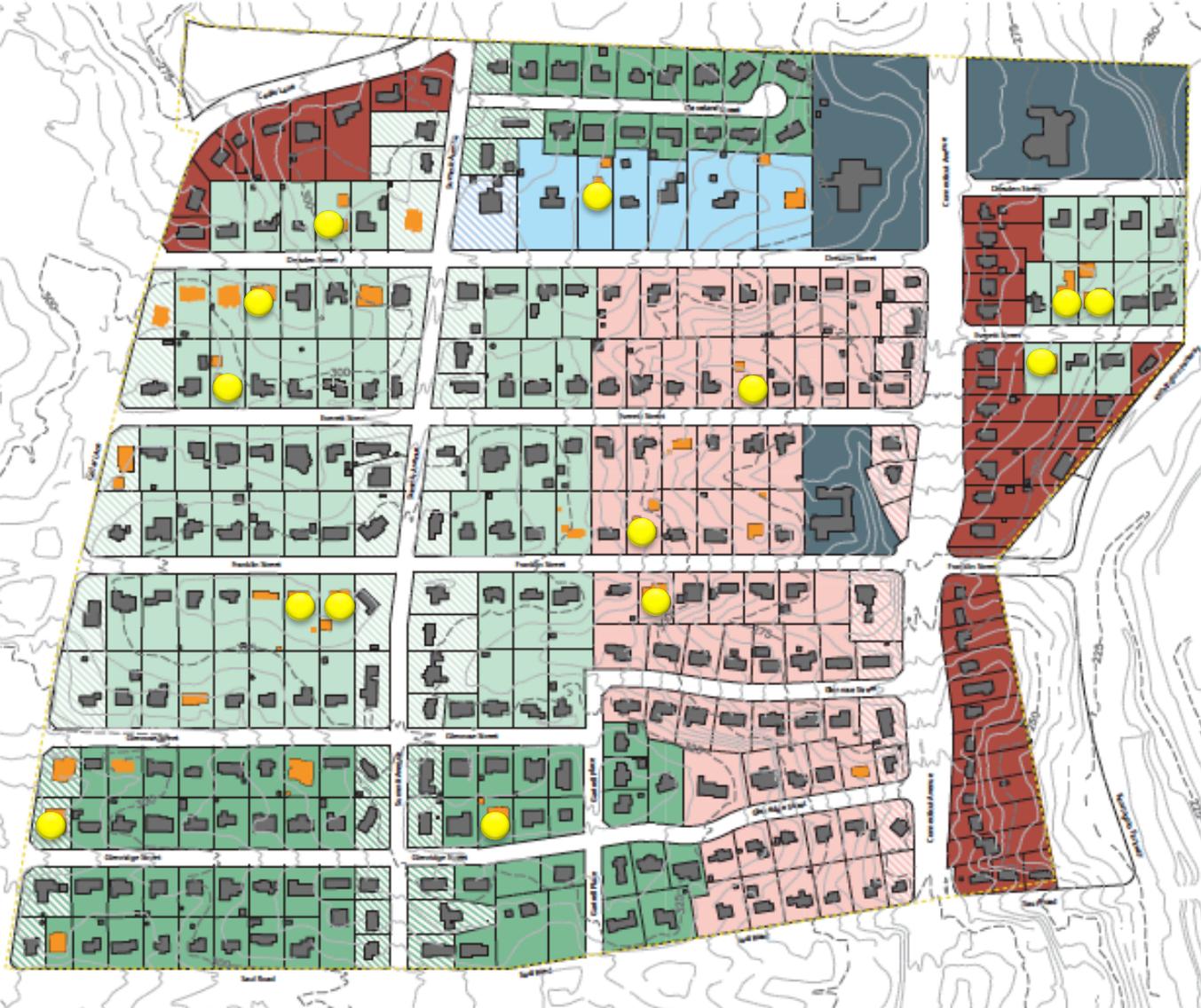
D' Similar to D, but bordering Connecticut Avenue

E Very deep lots with atypical setbacks

E' Similar to E, but bordering Summit Avenue

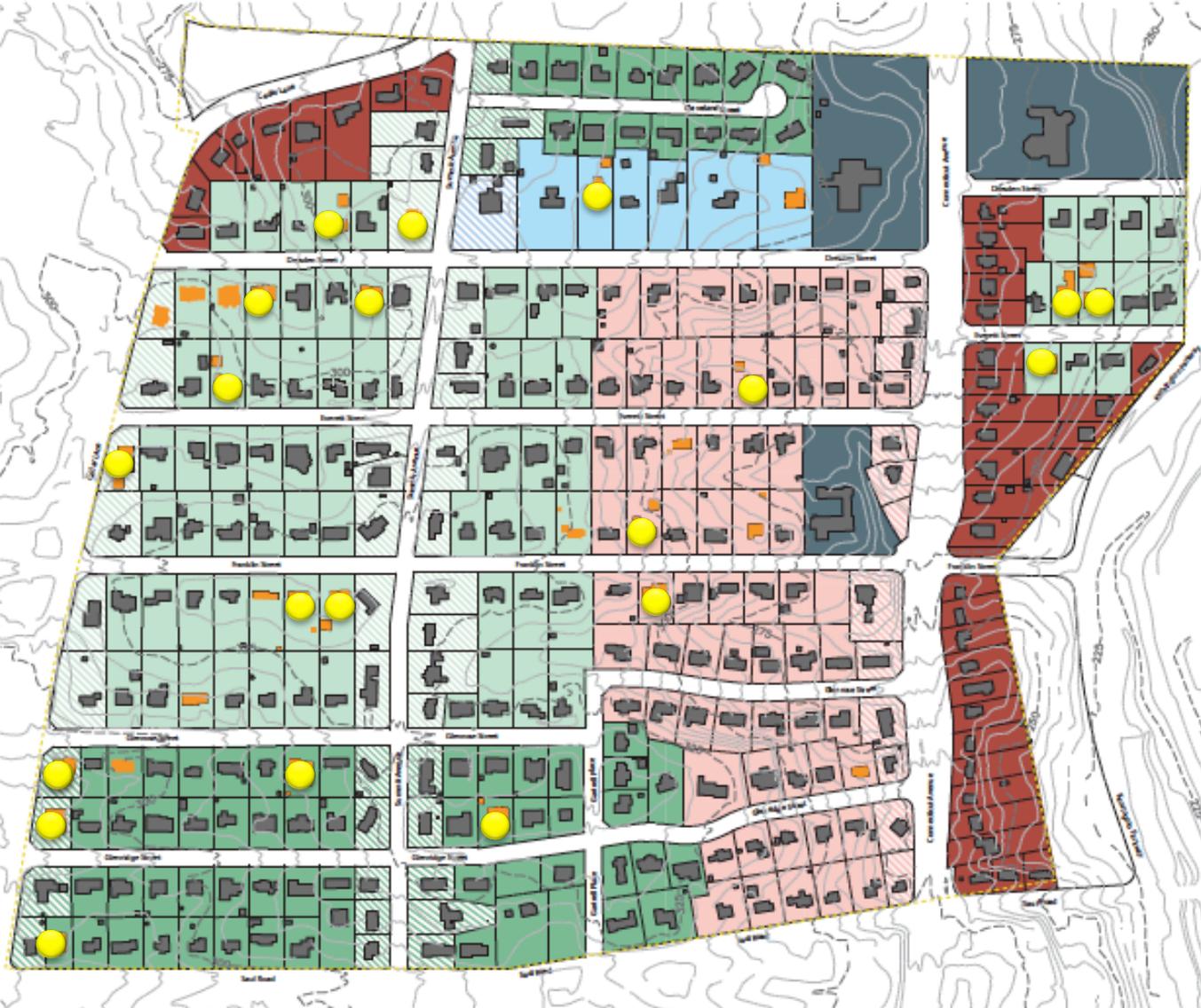
F Non-residential properties

New Houses, Permits Issued: 2004 – 2006



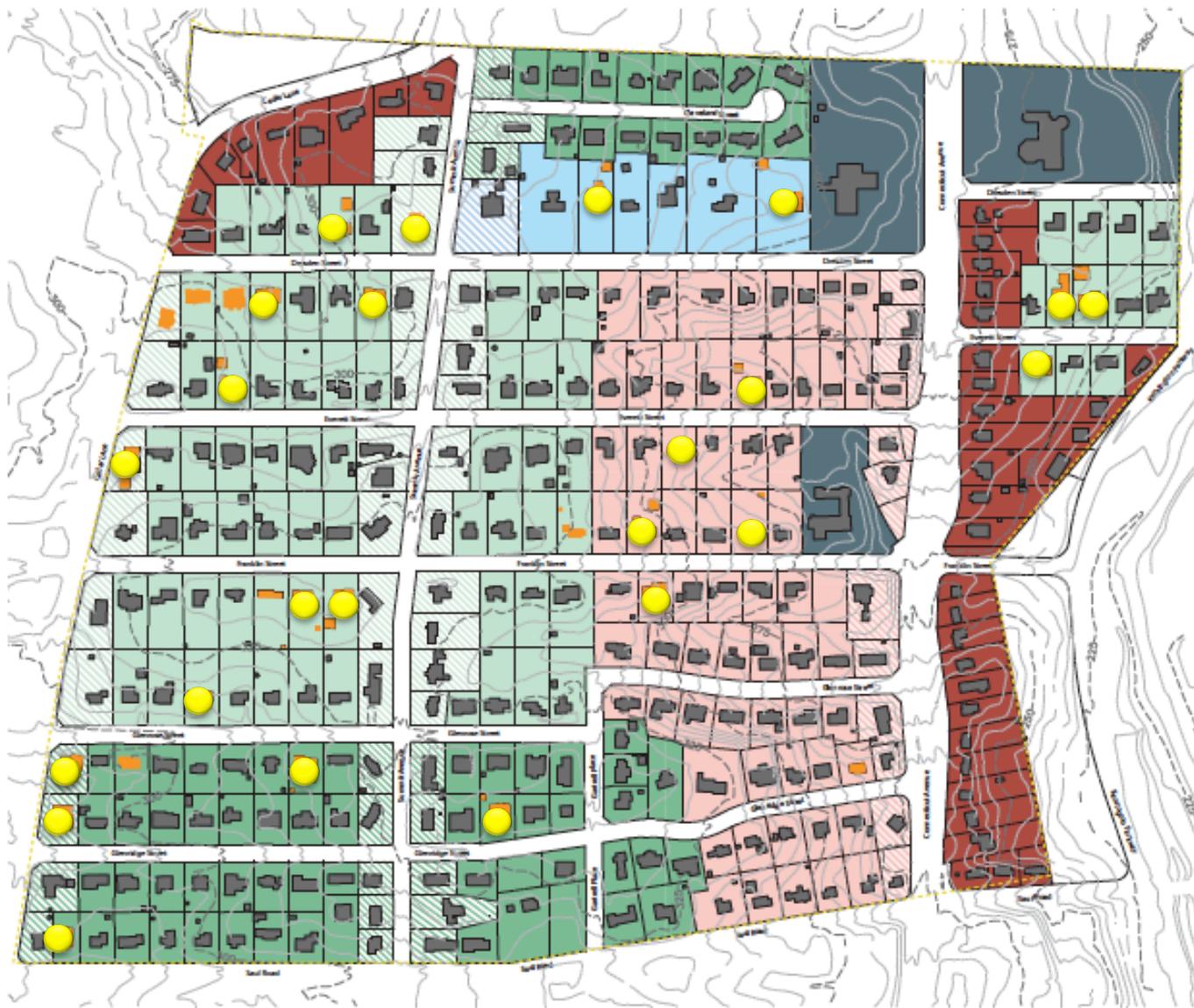
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- F** Non-residential properties

New Houses, Permits Issued: 2007 – 2009



- A** Lots fronting wider and heavier trafficked Connecticut Avenue and Cedar Lane
- B** Situated on the 'plateau' of Chevy Chase View, typical lots with deeper backyards
- B'** Similar to B, but bordering Summit Ave or Cedar Lane
- C** Smaller lots with shallower backyards
- C'** Similar to C, but bordering Summit Ave or Cedar Lane
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- F** Non-residential properties

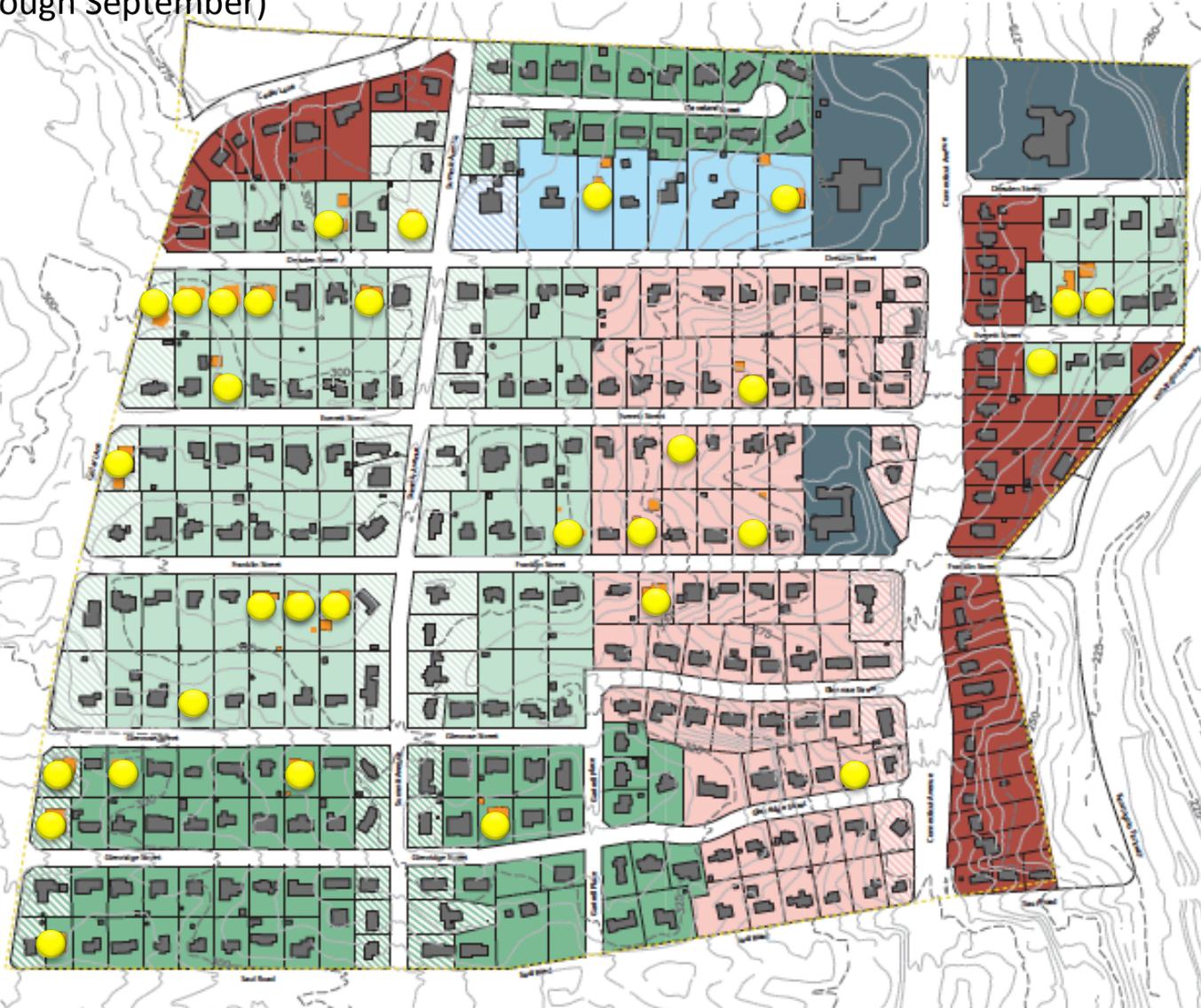
New House, Permit Issued: 2010 – 2012



- A** Lots fronting wider and heavier trafficked Connecticut Avenue and Cedar Lane
- B** Situated on the 'plateau' of Chevy Chase View, typical lots with deeper backyards
- B'** Similar to B, but bordering Summit Ave or Cedar Lane
- C** Smaller lots with shallower backyards
- C'** Similar to C, but bordering Summit Ave or Cedar Lane
- D** Similar to B, but affected by slope down to Connecticut Avenue
- D'** Similar to D, but bordering Connecticut Avenue
- E** Very deep lots with atypical setbacks
- E'** Similar to E, but bordering Summit Avenue
- F** Non-residential properties

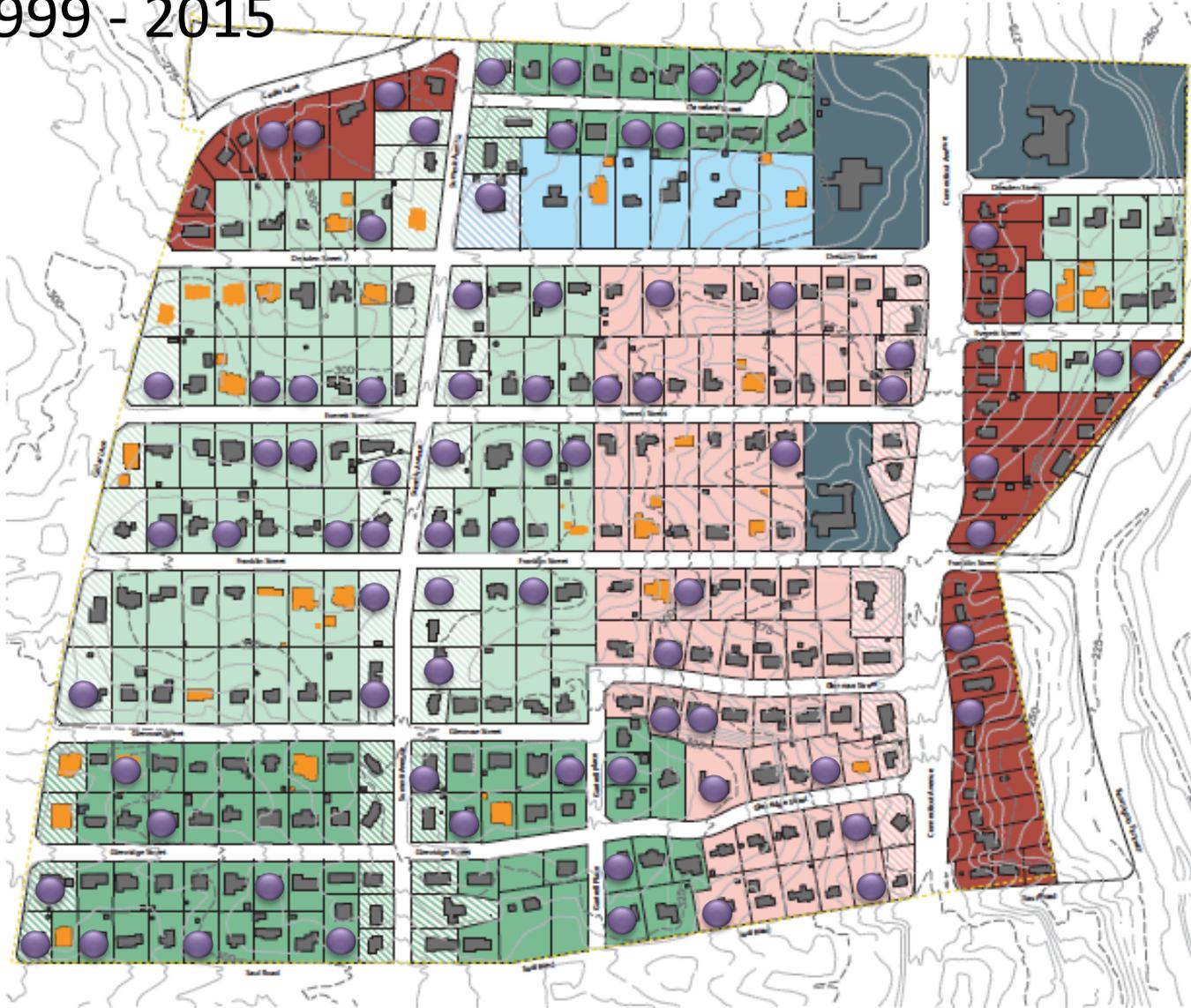
New House, Permit Issued: 2013 – 2015

(through September)



- A** Lots fronting wider and heavier trafficked Connecticut Avenue and Cedar Lane
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- C** Smaller lots with shallower backyards
- C'** Similar to C, but bordering Summit Ave or Cedar Lane
- D** Similar to B, but affected by slope down to Connecticut Avenue
- D'** Similar to D, but bordering Connecticut Avenue
- E** Very deep lots with atypical setbacks
- E'** Similar to E, but bordering Summit Avenue
- F** Non-residential properties

Residential Additions, Permits Issued: 1999 - 2015



- A** Lots fronting wider and heavier trafficked Connecticut Avenue and Cedar Lane
- B** Situated on the 'plateau' of Chevy Chase View, typical lots with deeper backyards
- B'** Similar to B, but bordering Summit Ave or Cedar Lane
- C** Smaller lots with shallower backyards
- C'** Similar to C, but bordering Summit Ave or Cedar Lane
- D** Similar to B, but affected by slope down to Connecticut Avenue
- D'** Similar to D, but bordering Connecticut Avenue
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- E'** Similar to E, but bordering Summit Avenue
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2 The Study and Findings: Street Sections

Dresden Street, looking east



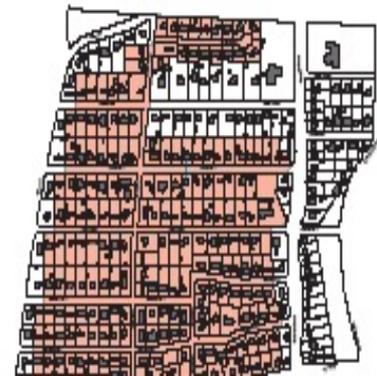
The horizontal and vertical proportions along a street help define character. In general terms, street enclosure is a function of building height and the combined width of the street and front yards. These factors are impacted or mitigated by building massing techniques, trees, and landscaping.



2 The Study and Findings: Street Sections



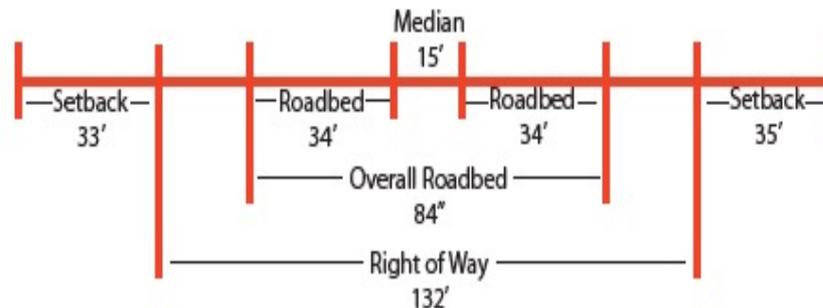
Everett Street has a strikingly different character than Dresden Street even though the roadbed is about the same width. The difference is the uniform front yard setbacks widths (on both sides of the street) along Everett which do not exist on Dresden.



2 The Study and Findings: Street Sections

Connecticut Avenue, looking north

There is little spatial definition along the heavily traveled and wide Connecticut Ave.



2 The Study and Findings: Vegetation

2 The Study and Findings: Vegetation

Why does the study consider vegetation?

- Trees especially, but other plants too, shape the character of a place. Especially in the front yard, vegetation they can break down the mass and bulk of a house, tying it into the landscape.
- Vegetation provides visual relief from hardscape such as driveways. A mature tree canopy can can mitigate against the character-changing effects of development.
- Trees help unify the built environment over many lots – even the entire street- through the repetition of the vertical elements.
- Trees help join groups of buildings and distinct lots by overlapping them with color or shade. Trees and vegetation extend beyond artificial lines (setbacks, lots lines, rights-of-way).

2 The Study and Findings: Buildings

For the purposes of defining character, we consider whether buildings are:

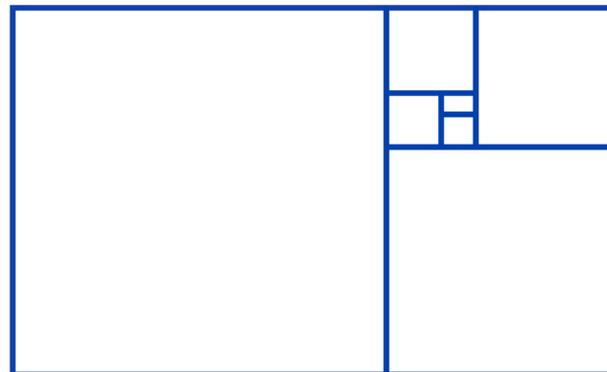
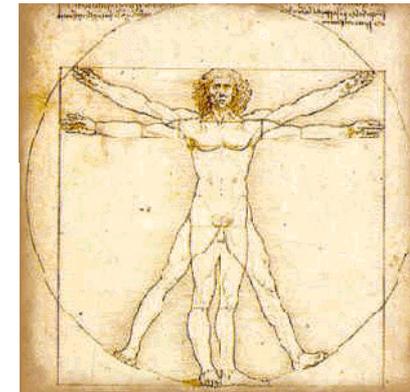
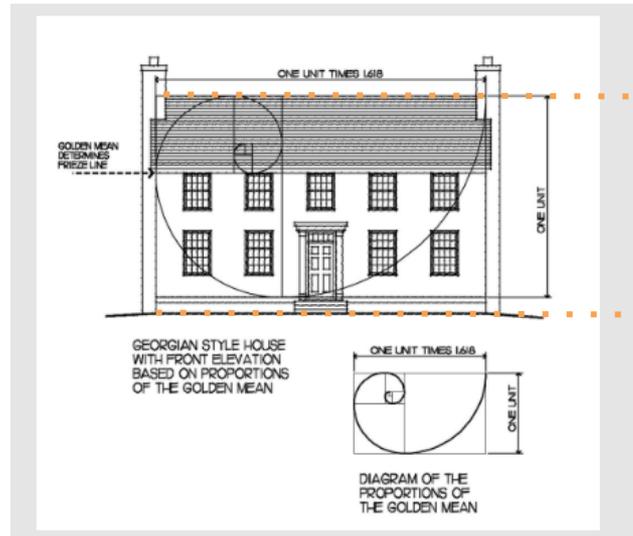
1. Broken into human scale components, often by an assemblage of traditional forms
2. Integrated with the terrain (e.g. wall plane height)
3. Supported by landscaping and trees



Human Scale

in the context of a town character study

- Human scale is the relationship between the dimensions of the articulated elements of a building and the dimensions of the human body.
- When major architectural elements of a building have dimensions that are consistent with the dimensions of the human body, the building is said to have human scale.



JAKUBIAK
TOWN + CITY PLANNING

STUDIOTWENTYSEVENARCHITECTURE



2 The Study and Findings: Buildings

Why did we look in detail at buildings?

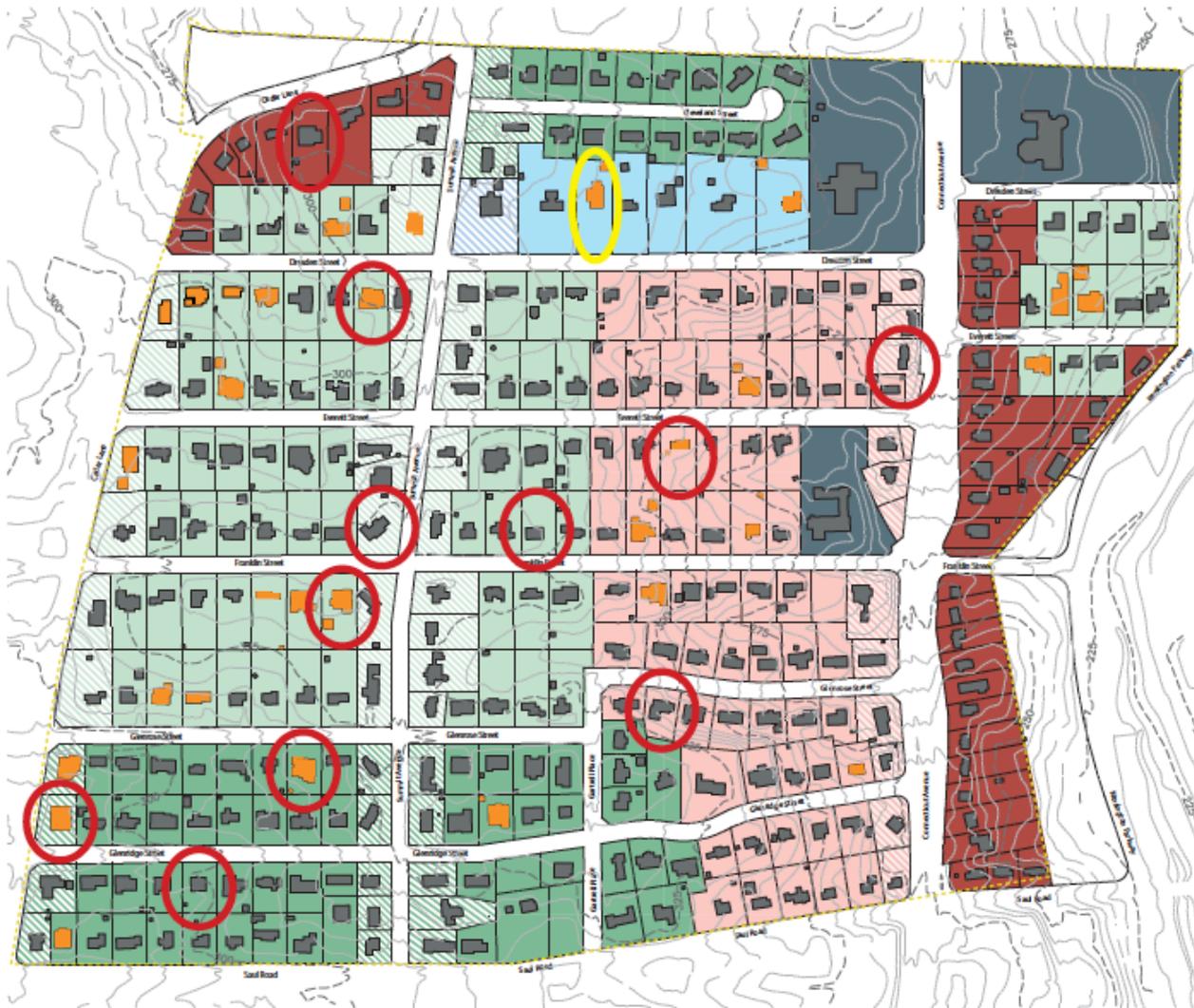
To identify more specifically those elements of the built environment that define the character of Chevy Chase View.



- 4015 Dresden Street
- 4201 Franklin Street
- 4024 Glenrose Street
- 4208 Glenrose Street
- 4016 Everett Street
- 4204 Franklin Street
- 4317 Glenridge Street
- 10139 Cedar Lane
- 4105 Franklin Street
- 4204 Dresden Street
- 10004 Connecticut Avenue
- 4300 Glenridge Street
- 3819 Everett Street

JAKUBIAK
TOWN + CITY PLANNING

STUDIO TWENTYSEVEN ARCHITECTURE



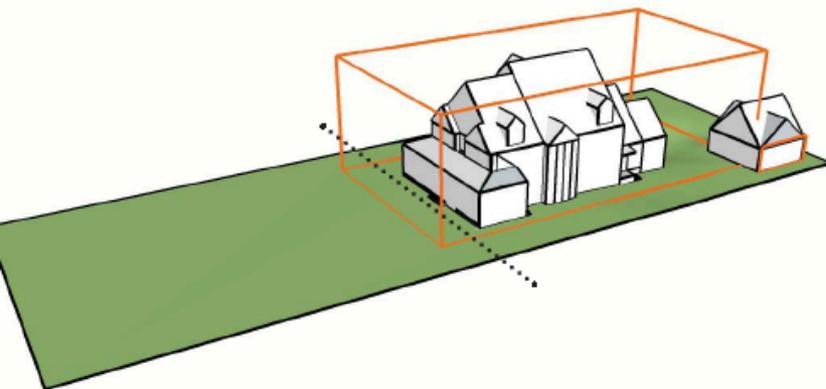
4015 Dresden Street

4015 Dresden Street

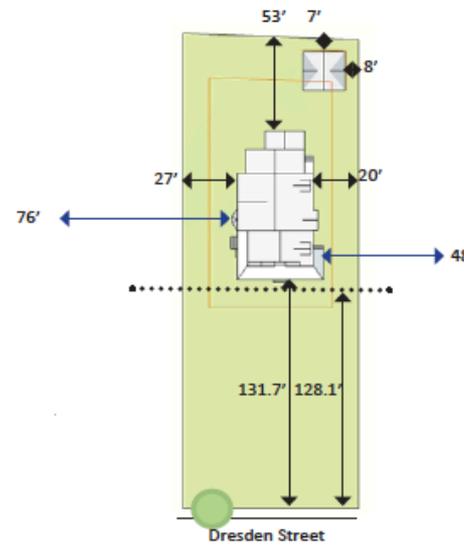
Town of Chevy Chase View
November 9, 2015



Criteria	4015 Dresden	CCV Standard
Lot Size	27,164 ft ²	
Building Footprint	5,350 ft ²	
Lot Coverage	20%	
Established Building Line	128.1'	
Front Lot Line Setback	131.7'	115' minimum
Side Line Setback	27' / 20'	15' minimum
Rear Line Setback	53'	25' minimum
Accessory Bldg Side & Rear Line Setback	8' / 7'	7' minimum
Permitted Projection Front & Rear Setback	5'	5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	34'	



Isometric View



Site Plan

Character Area E

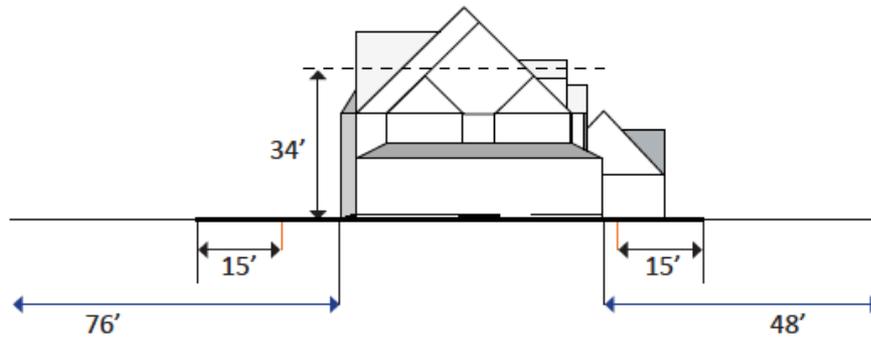


Drawing Legend

- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof

4015 Dresden Street

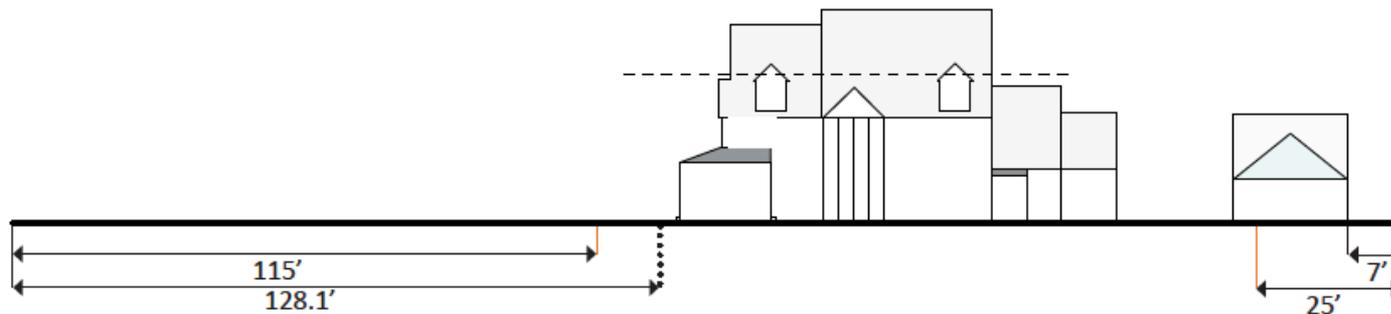
Town of Chevy Chase View
November 9, 2015



Drawing Legend

- Lot Area
- Building Footprint
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- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof

Front Elevation



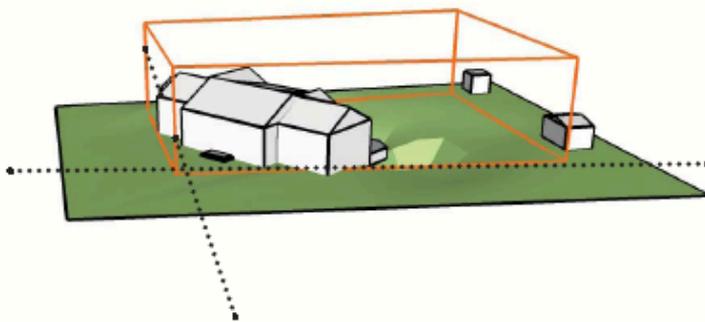
Side Elevation

4201 Franklin Street

Town of Chevy Chase View
November 12, 2015



Criteria	4201 Franklin	CCV Standard
Lot Size	24,941 ft ²	
Building Footprint	2,481 ft ²	
Lot Coverage	10%	
Established Building Line	48.6' (Franklin) 38.8' (Summit)	
Front Lot Line Setback	45.7' (Franklin) 35' (Summit)	35' minimum
Side Line Setback	13'	15' minimum
Rear Line Setback	78'	25' minimum
Accessory Bldg Side & Rear Line Setback	9' / 9'	7' minimum
Permitted Projection Front & Rear Setback		5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	16'	



Character Area B'

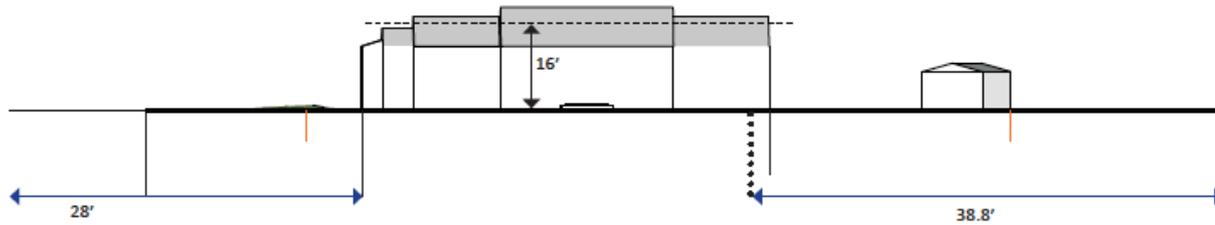


Drawing Legend

- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof

Isometric View

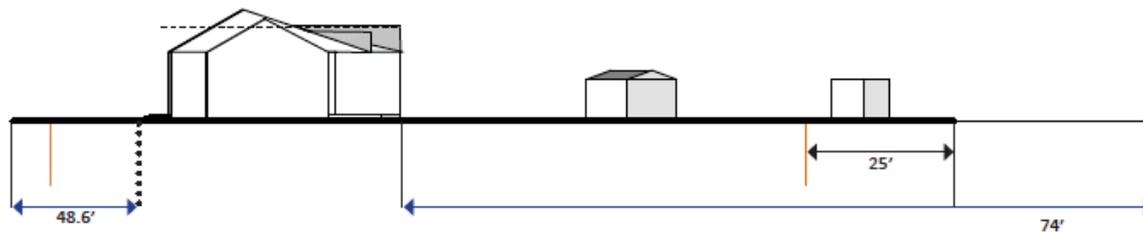
Site Plan



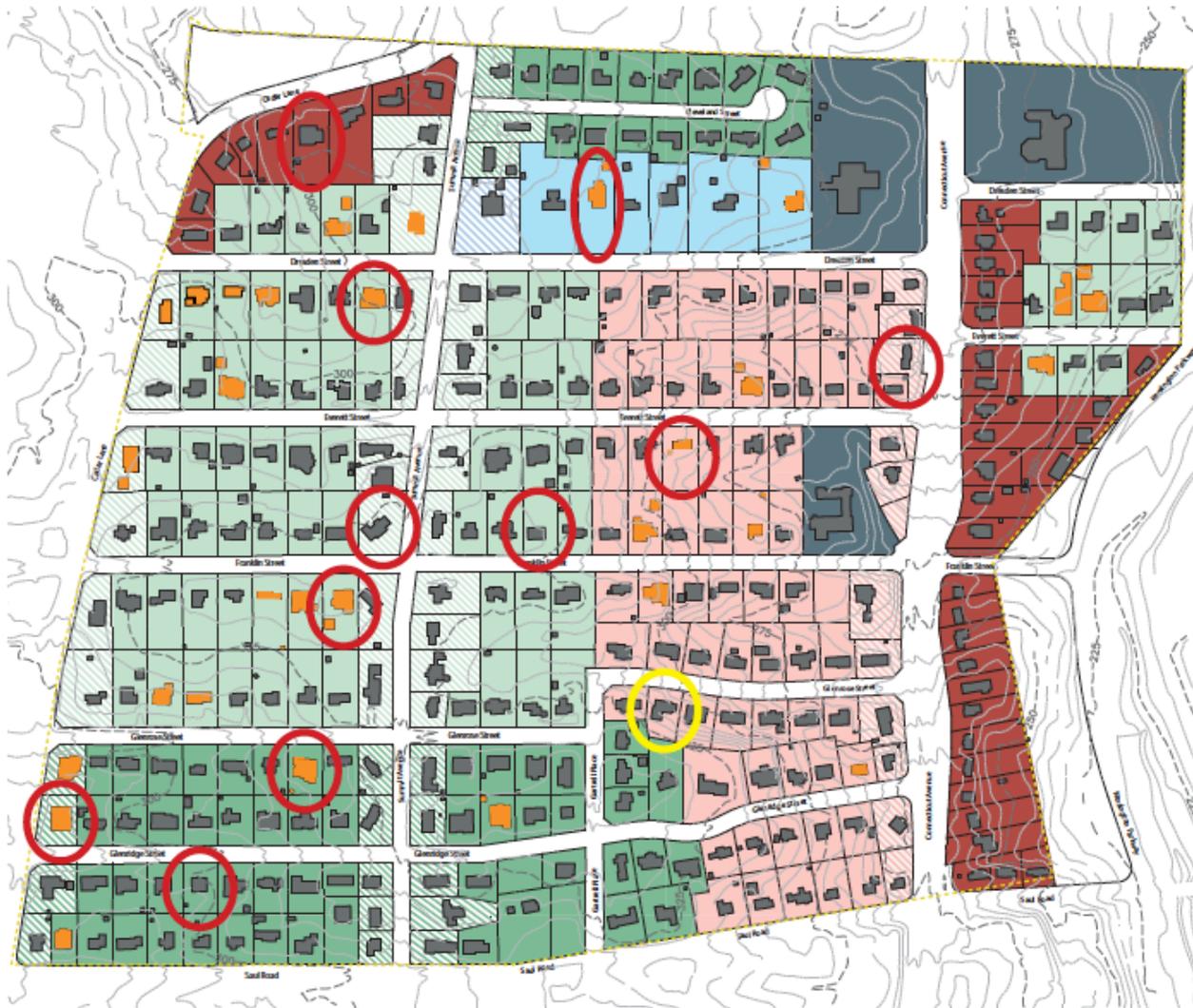
Drawing Legend

- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof

Front Elevation



Side Elevation

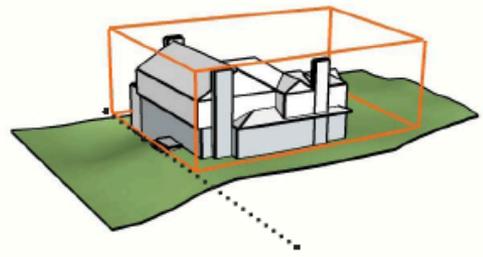


4024 Glenrose Street

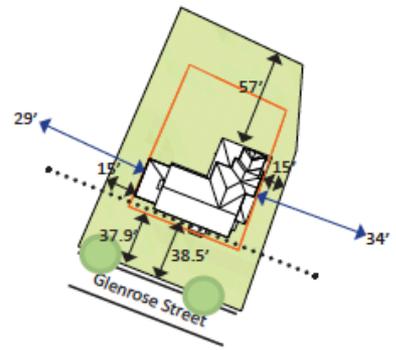
4024 Glenrose Street



Criteria	4024 Glenrose	CCV Standard
Lot Size	13,611 ft ²	
Building Footprint	1,861 ft ²	
Lot Coverage	14%	
Established Building Line	37.9'	
Front Lot Line Setback	38.5'	35' minimum
Side Line Setback	15' / 15'	15' minimum
Rear Line Setback	57'	25' minimum
Accessory Bldg Side & Rear Line Setback	N/A	7' minimum
Permitted Projection Front & Rear Setback	5'	5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	27'	



Isometric View



Site Plan

Character Area D



Drawing Legend

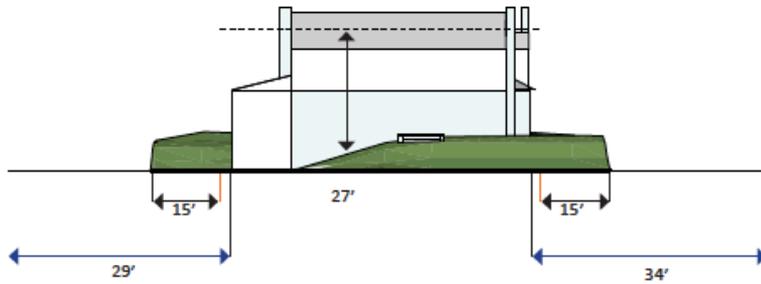
- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof

4024 Glenrose Street

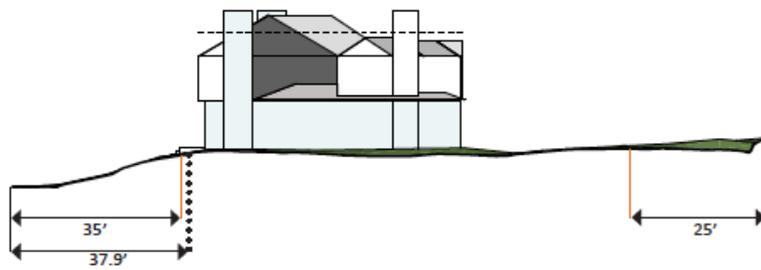
Town of Chevy Chase View
November 9, 2015

Drawing Legend

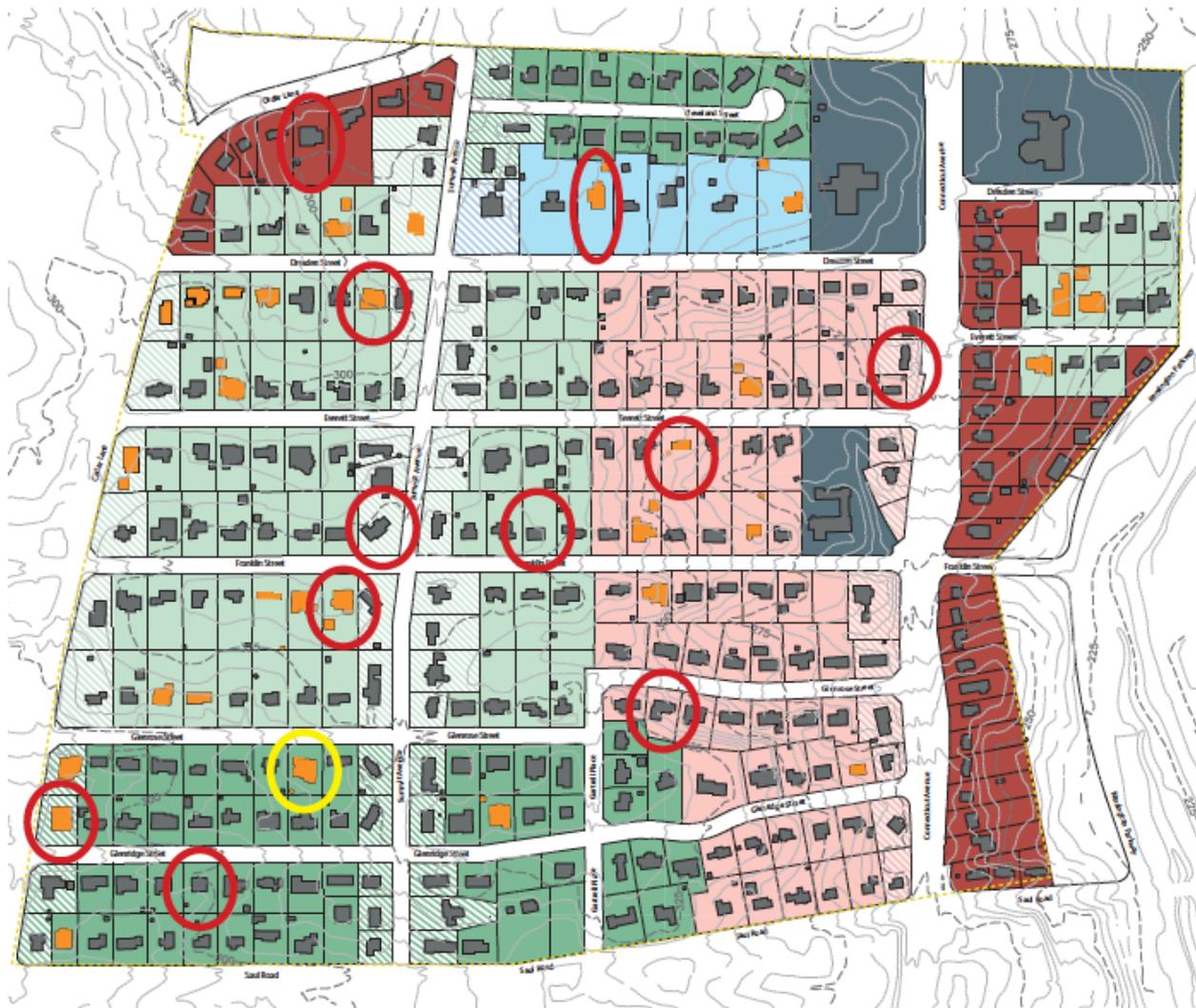
-  Lot Area
-  Building Footprint
-  Lot Boundary
-  Setback Line
-  Established Building Line
-  Distance to Adjacent House
-  Mean height of sloped roof



Front Elevation



Side Elevation

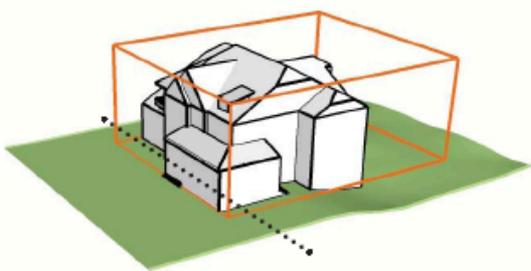


4208 Glenrose Street

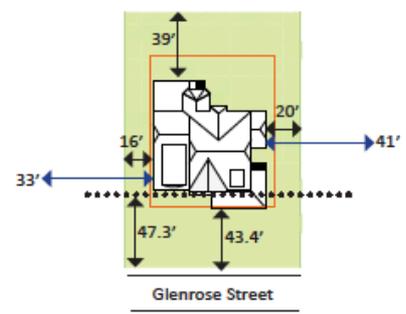
4208 Glenrose Street



Criteria	4208 Glenrose	CCV Standard
Lot Size	14,675 ft ²	
Building Footprint	3,586 ft ²	
Lot Coverage	24%	
Established Building Line	47.3'	
Front Lot Line Setback	43.4'	35' minimum
Side Line Setback	16' / 20'	15' minimum
Rear Line Setback	39'	25' minimum
Accessory Bldg Side & Rear Line Setback	N/A	7' minimum
Permitted Projection Front & Rear Setback	6'	5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	30'	



Isometric View



Site Plan

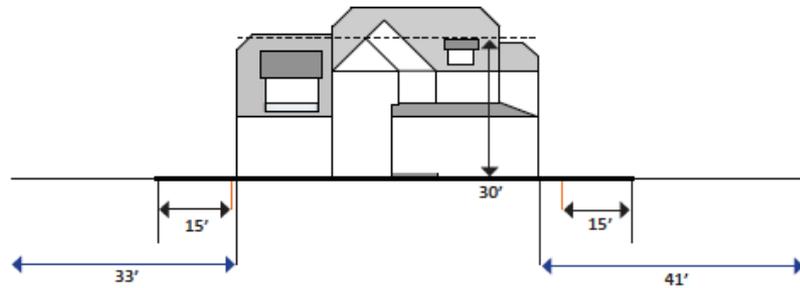
Character Area C



Drawing Legend

- Lot Area
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- Lot Boundary
- Setback Line
- Established Building Line
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- Mean height of sloped roof

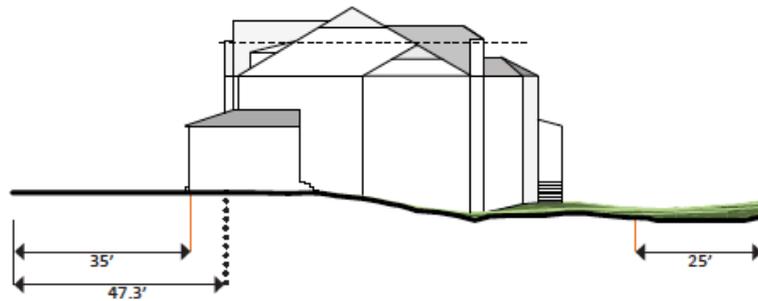
4208 Glenrose Street



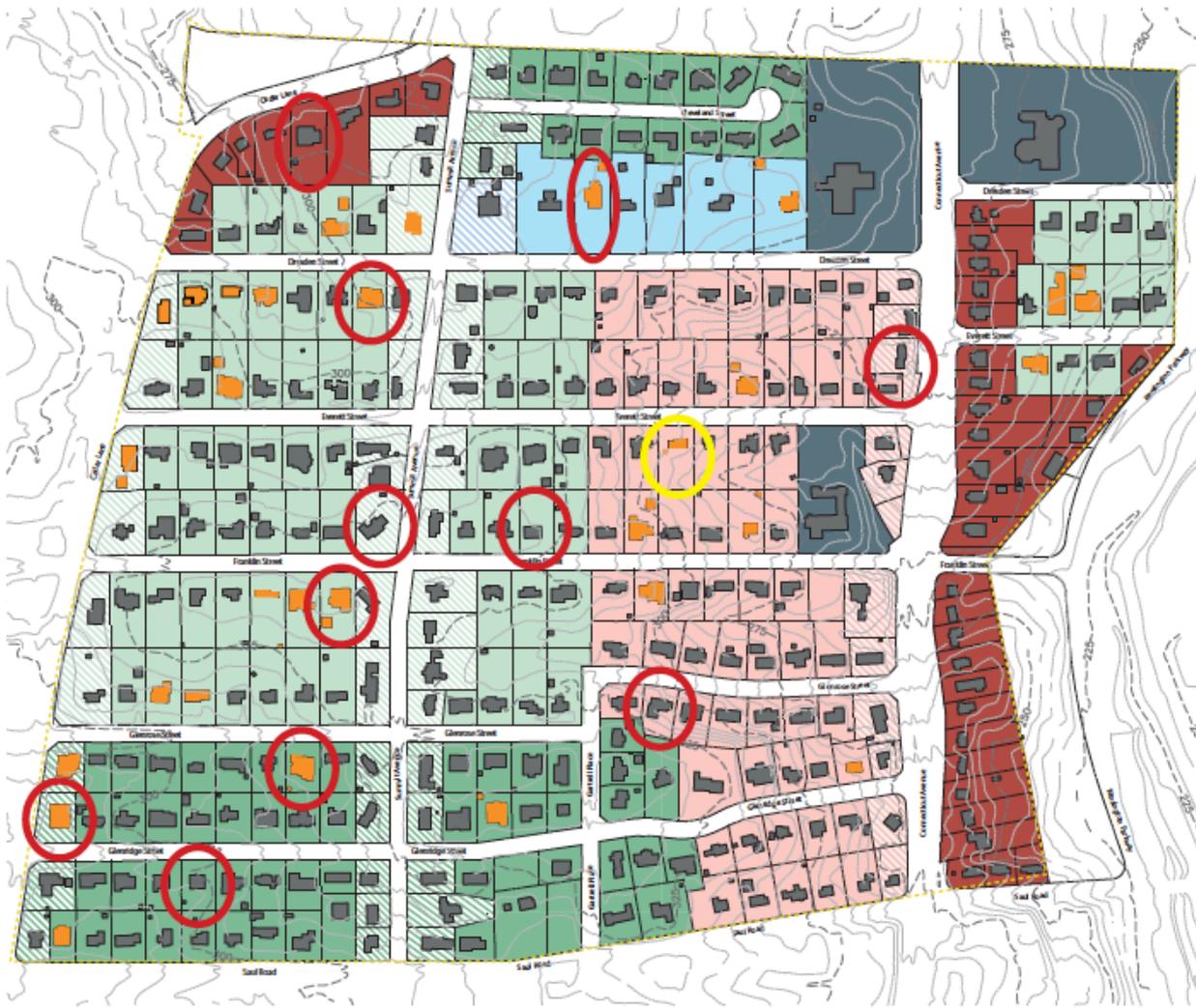
Front Elevation

Drawing Legend

-  Lot Area
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-  Lot Boundary
-  Setback Line
-  Established Building Line
-  Distance to Adjacent House
-  Mean height of sloped roof



Side Elevation

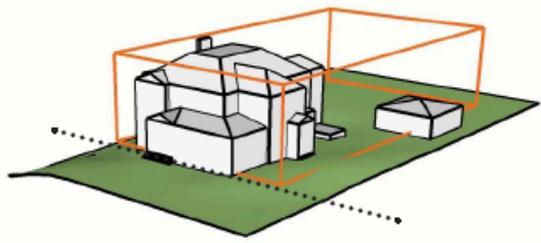


4016 Everett Street

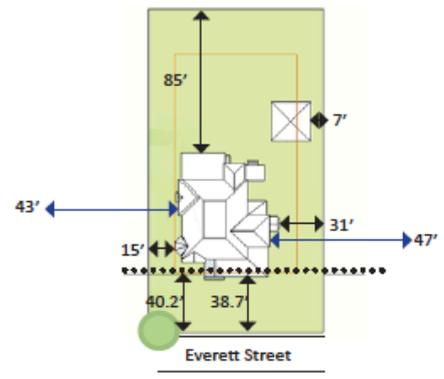
4016 Everett Street



Criteria	4016 Everett	CCV Standard
Lot Size	18,661 ft ²	
Building Footprint	2,749 ft ²	
Lot Coverage	15%	
Established Building Line	40.2'	
Front Lot Line Setback	38.7'	35' minimum
Side Line Setback	15'/31'	15' minimum
Rear Line Setback	85'	25' minimum
Accessory Bldg Side & Rear Line Setback	7'	7' minimum
Permitted Projection Front & Rear Setback	5'	5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	29'	



Isometric View



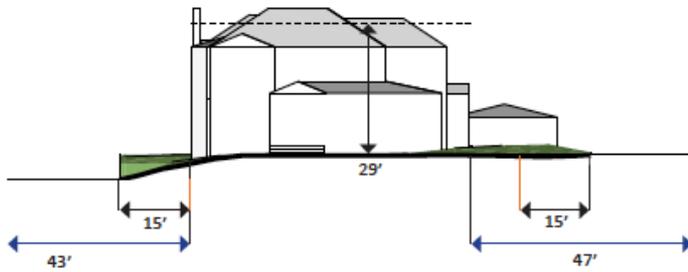
Site Plan

Character Area D



Drawing Legend

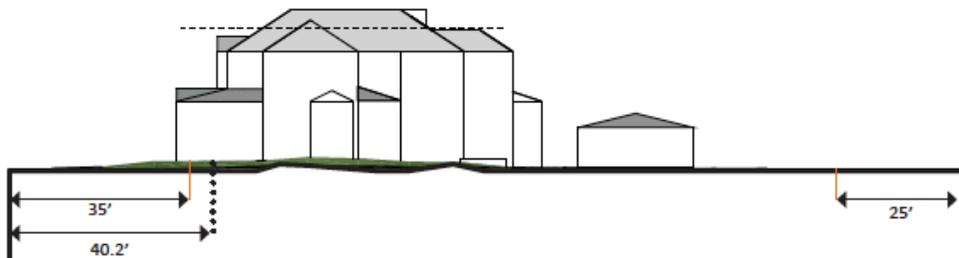
- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof



Drawing Legend

-  Lot Area
-  Building Footprint
-  Lot Boundary
-  Setback Line
-  Established Building Line
-  Distance to Adjacent House
-  Mean height of sloped roof

Front Elevation



Side Elevation

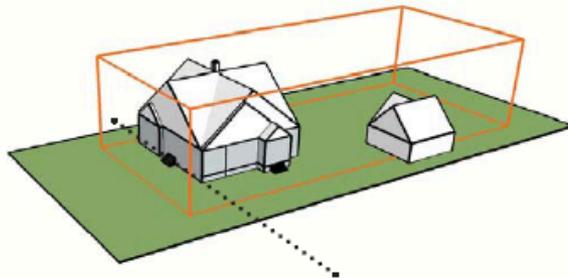


4204 Franklin Street

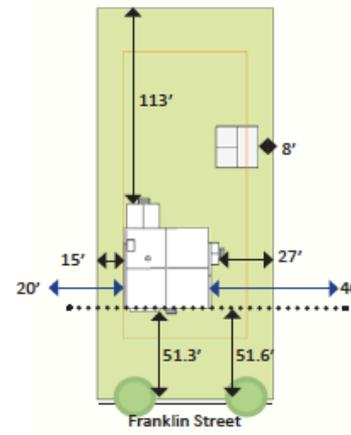
4204 Franklin Street



Criteria	4204 Franklin	CCV Standard
Lot Size	22,500 ft ²	
Building Footprint	3,169 ft ²	
Lot Coverage	14%	
Established Building Line	51.6'	
Front Lot Line Setback	51.3'	35' minimum
Side Line Setback	15'/27'	15' minimum
Rear Line Setback	113'	25' minimum
Accessory Bldg Side & Rear Line Setback	8'	7' minimum
Permitted Projection Front & Rear Setback	N/A	5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	27'	



Isometric View



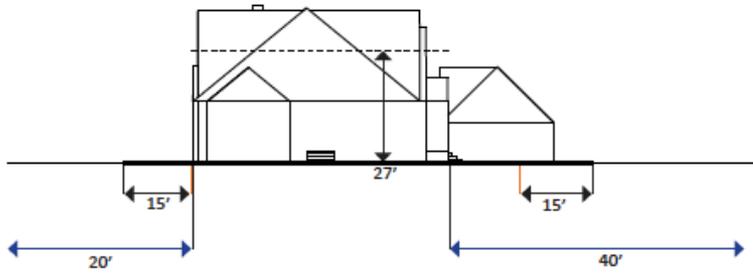
Site Plan

Character Area B



Drawing Legend

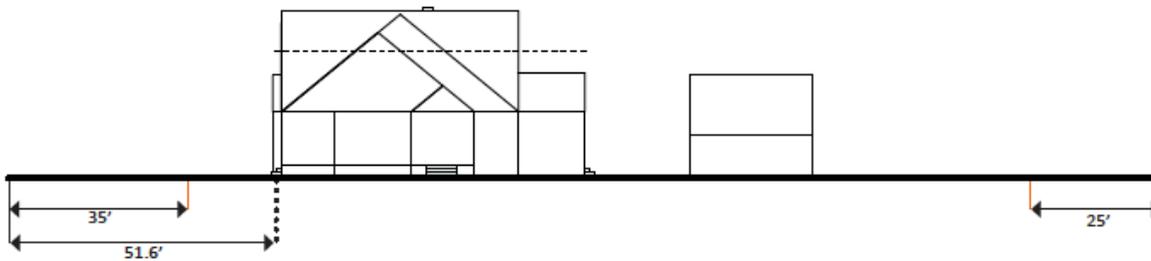
- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof



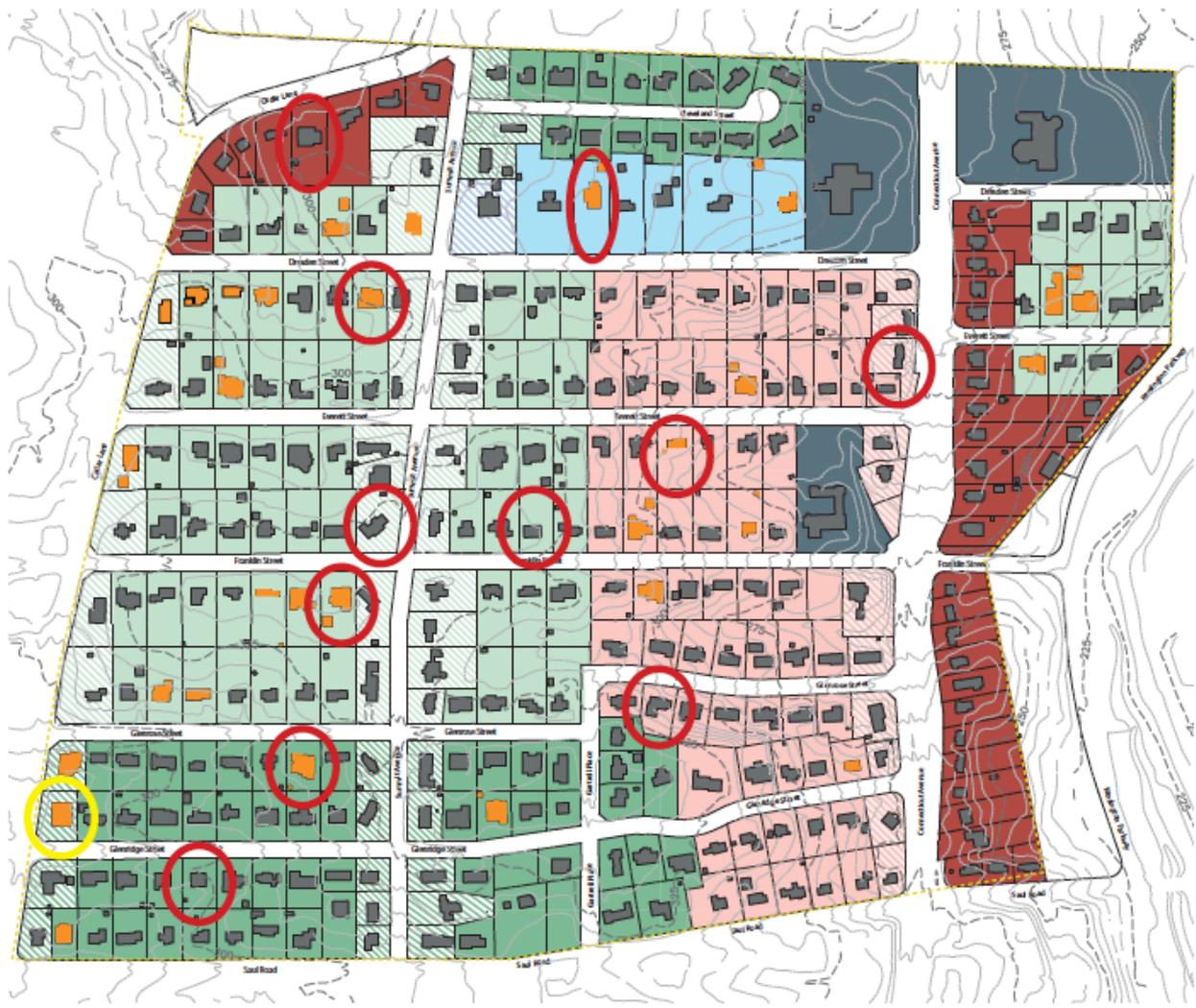
Front Elevation

Drawing Legend

-  Lot Area
-  Building Footprint
-  Lot Boundary
-  Setback Line
-  Established Building Line
-  Distance to Adjacent House
-  Mean height of sloped roof



Side Elevation

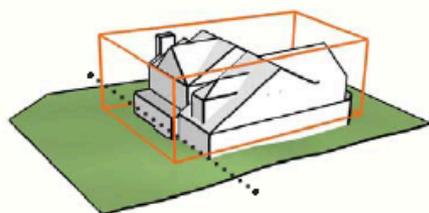


4317 Glenridge Street

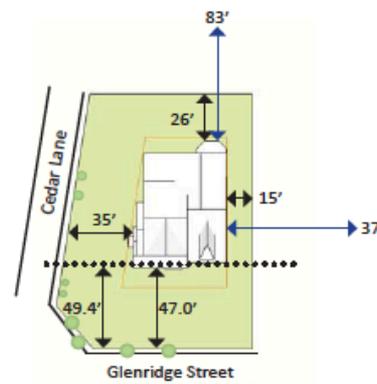
4317 Glenridge Street



Criteria	4317 Glenridge	CCV Standard
Lot Size	15,017 ft ²	
Building Footprint	3,132 ft ²	
Lot Coverage	21%	
Established Building Line	49.4'	
Front Lot Line Setback	47.0'	35' minimum
Side Line Setback	35'/15'	15' minimum
Rear Line Setback	26'	25' minimum
Accessory Bldg Side & Rear Line Setback	N/A	7' minimum
Permitted Projection Front & Rear Setback	2'	5' maximum
Permitted Projection Side Setback	1'	2' maximum
Building Height	30'	



Isometric View



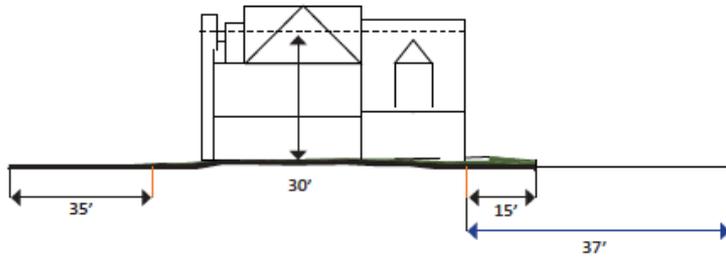
Site Plan

Character Area C'



Drawing Legend

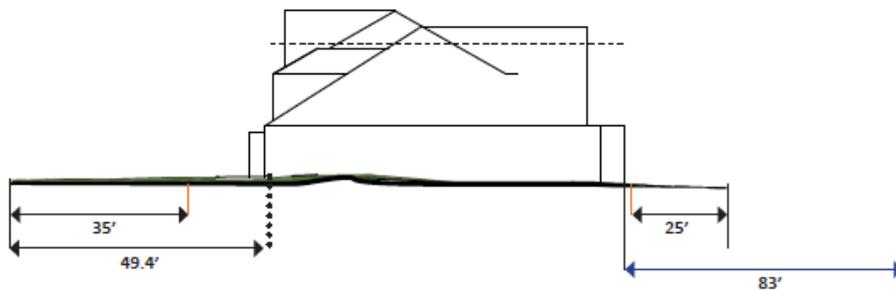
- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof



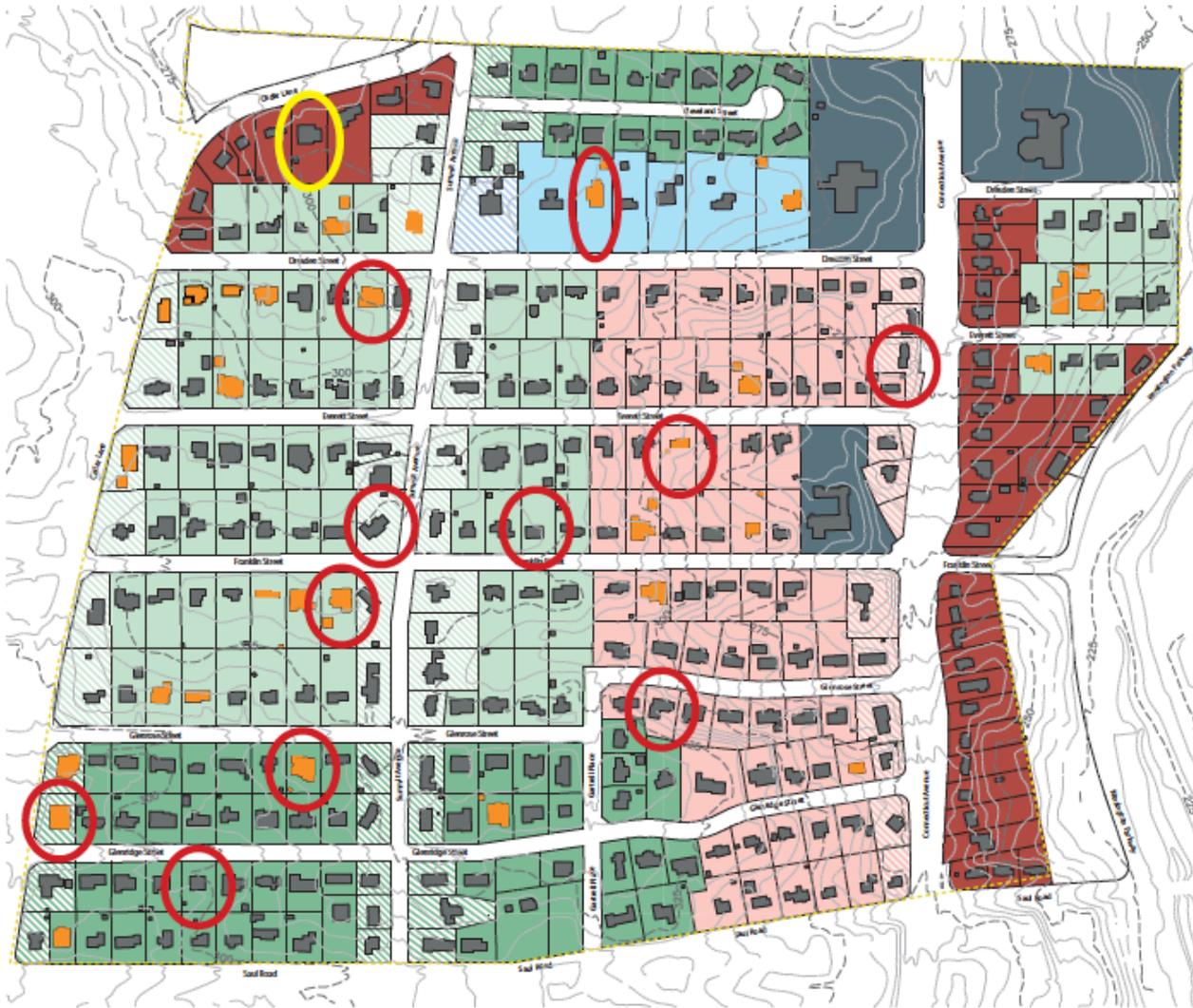
Front Elevation

Drawing Legend

-  Lot Area
-  Building Footprint
-  Lot Boundary
-  Setback Line
-  Established Building Line
-  Distance to Adjacent House
-  Mean height of sloped roof



Side Elevation

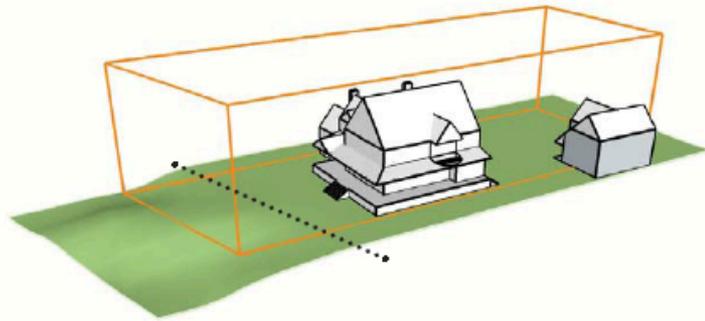


10139 Cedar Lane

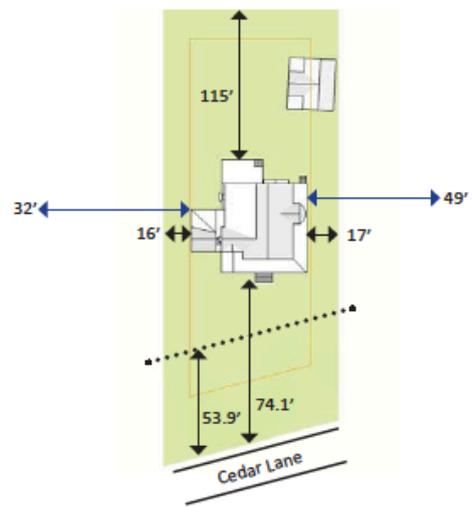
10139 Cedar Lane



Criteria	10139 Cedar	CCV Standard
Lot Size	26,200 ft ²	
Building Footprint	4,276 ft ²	
Lot Coverage	16%	
Established Building Line	53.9'	
Front Lot Line Setback	74.1'	35' minimum
Side Line Setback	16'/17'	15' minimum
Rear Line Setback	115'	25' minimum
Accessory Bldg Side & Rear Line Setback	Unknown	7' minimum
Permitted Projection Front & Rear Setback	N/A	5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	31'	



Isometric View



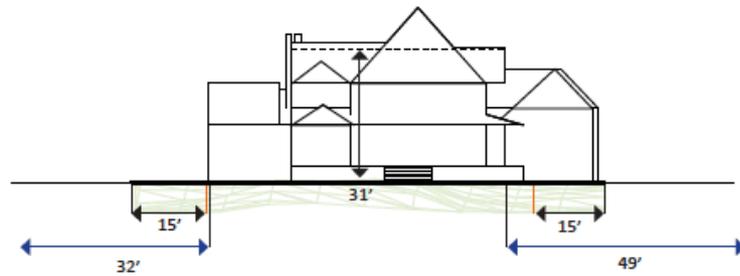
Site Plan

Character Area A



Drawing Legend

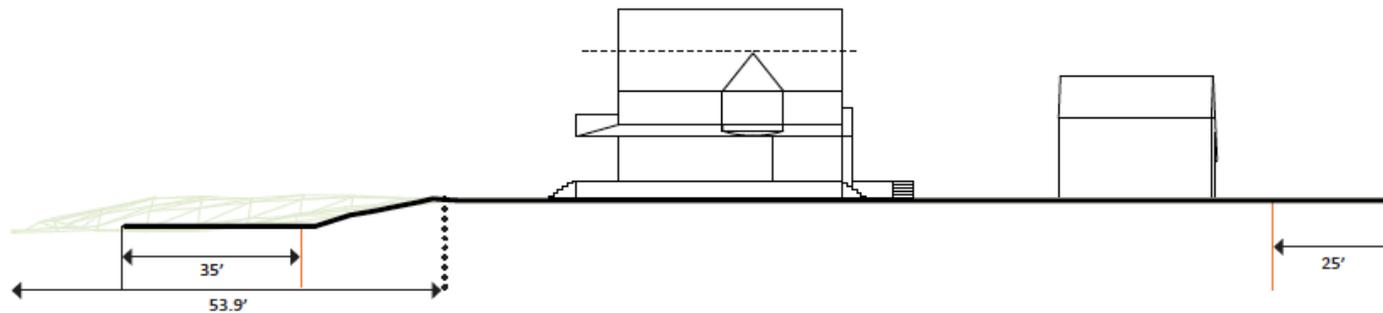
- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof



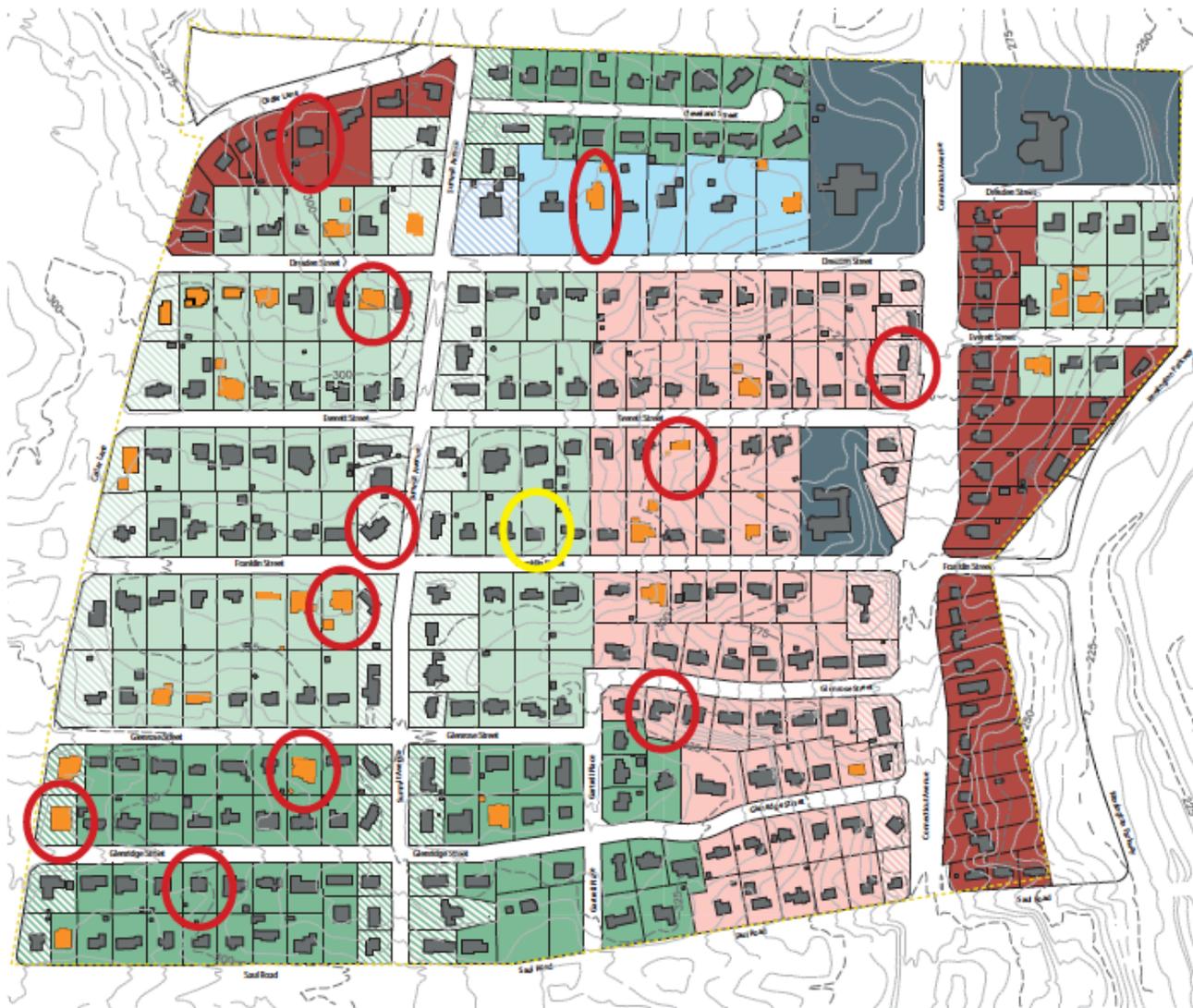
Drawing Legend

-  Lot Area
-  Building Footprint
-  Lot Boundary
-  Setback Line
-  Established Building Line
-  Distance to Adjacent House
-  Mean height of sloped roof

Front Elevation



Side Elevation

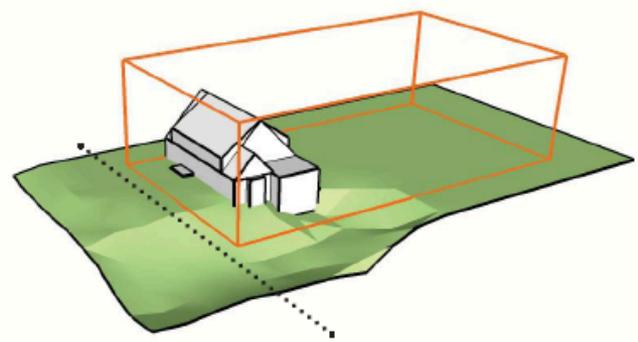


4105 Franklin Street

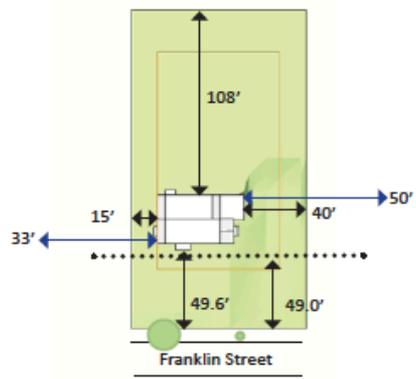
4105 Franklin Street



Criteria	4105 Franklin	CCV Standard
Lot Size	18,661 ft ²	
Building Footprint	1,354 ft ²	
Lot Coverage	7%	
Established Building Line	49.0'	
Front Lot Line Setback	49.6'	35' minimum
Side Line Setback	15'/40'	15' minimum
Rear Line Setback	108'	25' minimum
Accessory Bldg Side & Rear Line Setback	N/A	7' minimum
Permitted Projection Front & Rear Setback	N/A	5' maximum
Permitted Projection Side Setback	2'	2' maximum
Building Height	22'	



Isometric View

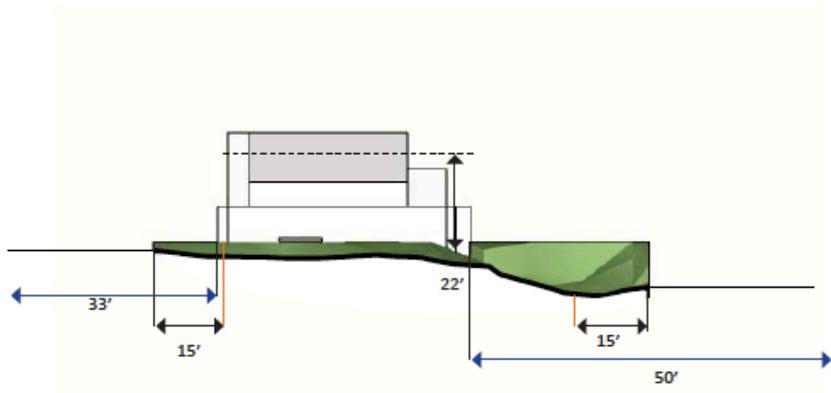


Site Plan

Character Area B



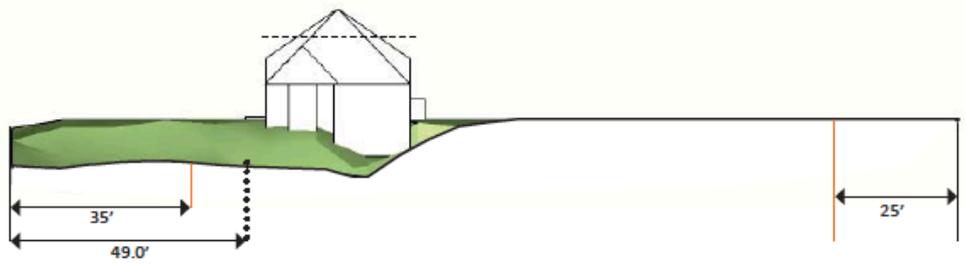
- Drawing Legend**
- Lot Area
 - Building Footprint
 - Lot Boundary
 - Setback Line
 - Established Building Line
 - Distance to Adjacent House
 - Mean height of sloped roof



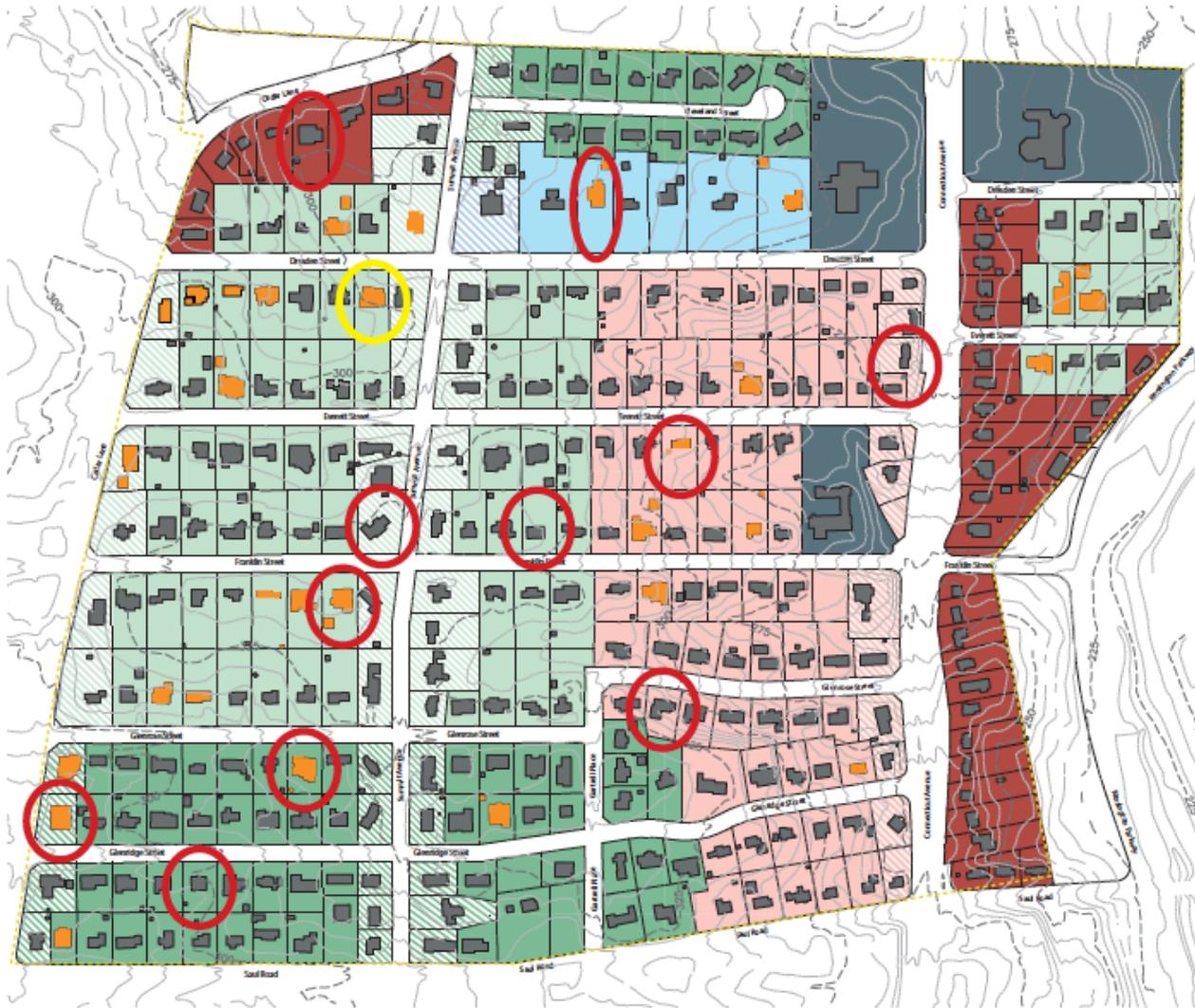
Drawing Legend

- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof

Front Elevation



Side Elevation

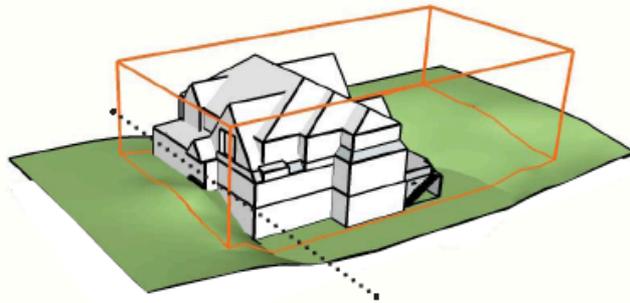


4204 Dresden Street

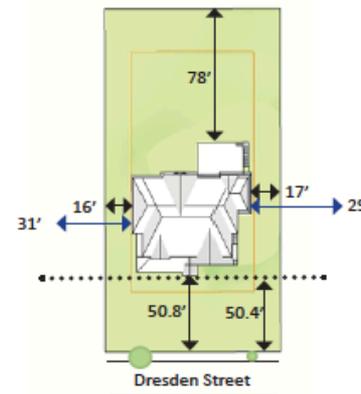
4204 Dresden Street



Criteria	4204 Dresden	CCV Standard
Lot Size	20,076 ft ²	
Building Footprint	3,214 ft ²	
Lot Coverage	16%	
Established Building Line	50.4'	
Front Lot Line Setback	50.8'	35' minimum
Side Line Setback	16'/17'	15' minimum
Rear Line Setback	78'	25' minimum
Accessory Bldg Side & Rear Line Setback	N/A	7' minimum
Permitted Projection Front & Rear Setback	4'	5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	30'	



Isometric View



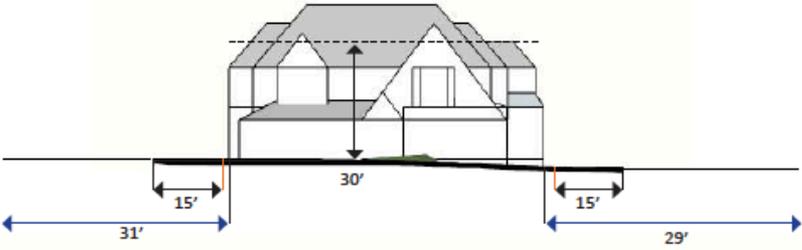
Site Plan

Character Area B



Drawing Legend

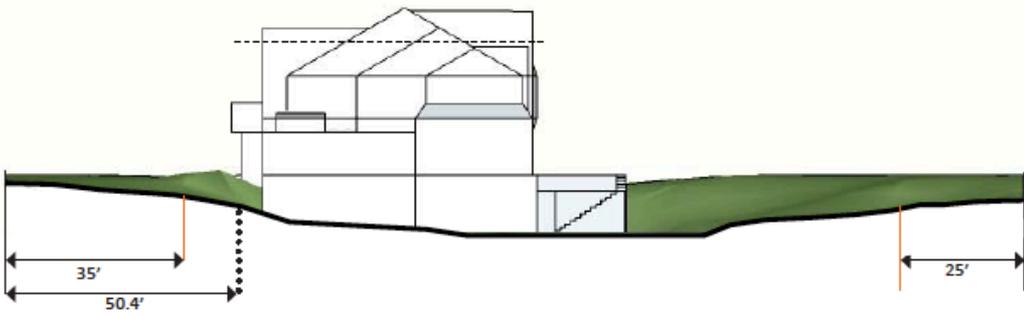
- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof



Front Elevation

Drawing Legend

- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof



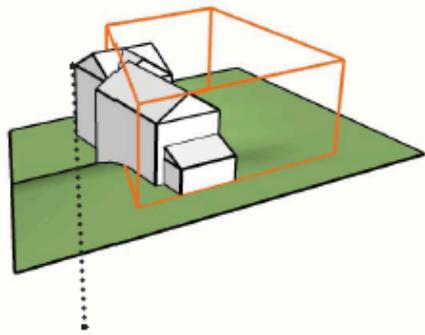
Side Elevation

10004 Connecticut Avenue

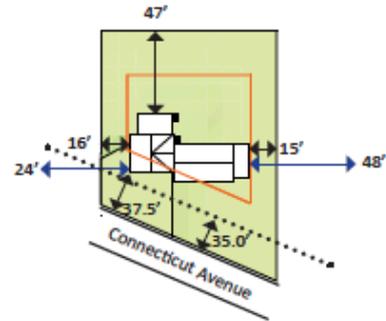


This photo was taken before the recent installation of a sidewalk and retaining wall along Connecticut Avenue, which improvements have altered the appearance of this property as seen from the vantage point above but have not materially changed the results of the modeling or the findings of the study.

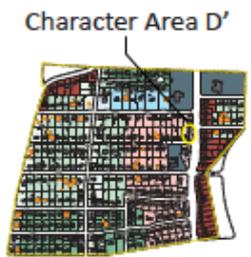
Criteria	10004 Connecticut	CCV Standard
Lot Size	18,150 ft ²	
Building Footprint	1,721 ft ²	
Lot Coverage	9%	
Established Building Line	35.0'	
Front Lot Line Setback	37.5'	35' minimum
Side Line Setback	16'/15'	15' minimum
Rear Line Setback	48'	25' minimum
Accessory Bldg Side & Rear Line Setback	N/A	7' minimum
Permitted Projection Front & Rear Setback		5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	28'	



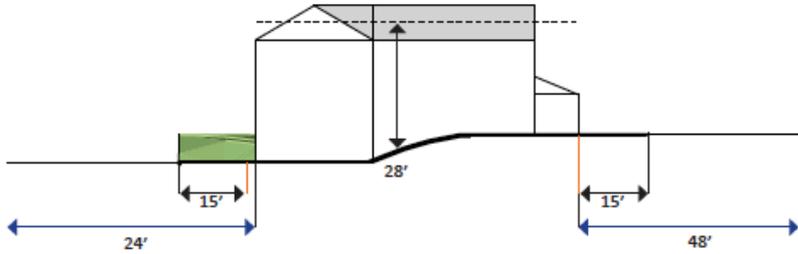
Isometric View



Site Plan



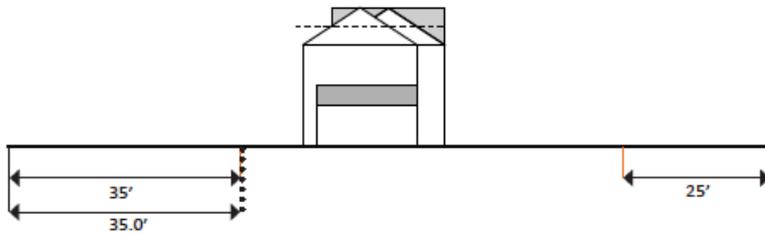
- Drawing Legend**
- Lot Area
 - Building Footprint
 - Lot Boundary
 - Setback Line
 - Established Building Line
 - Distance to Adjacent House
 - Mean height of sloped roof



Drawing Legend

-  Lot Area
-  Building Footprint
-  Lot Boundary
-  Setback Line
-  Established Building Line
-  Distance to Adjacent House
-  Mean height of sloped roof

Front Elevation

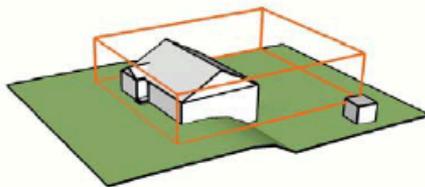


Side Elevation

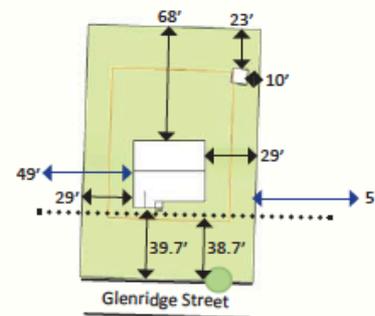
4300 Glenridge Street



Criteria	4300 Glenridge	CCV Standard
Lot Size	14,675 ft ²	
Building Footprint	1,552 ft ²	
Lot Coverage	11%	
Established Building Line	38.7'	
Front Lot Line Setback	39.7'	35' minimum
Side Line Setback	29'/29'	15' minimum
Rear Line Setback	68'	25' minimum
Accessory Bldg Side & Rear Line Setback	10'/23'	7' minimum
Permitted Projection Front & Rear Setback	N/A	5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	14'	



Isometric View



Site Plan

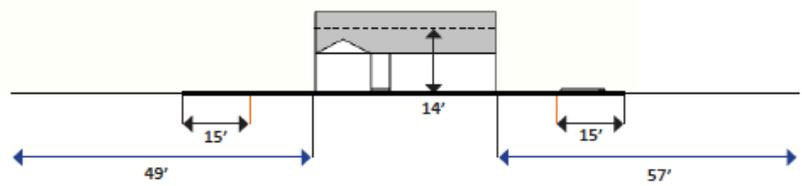
Character Area C



Drawing Legend

- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof

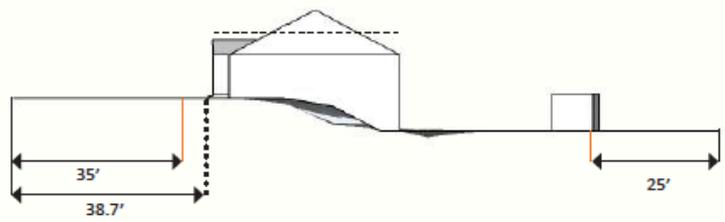
4300 Glenridge Street



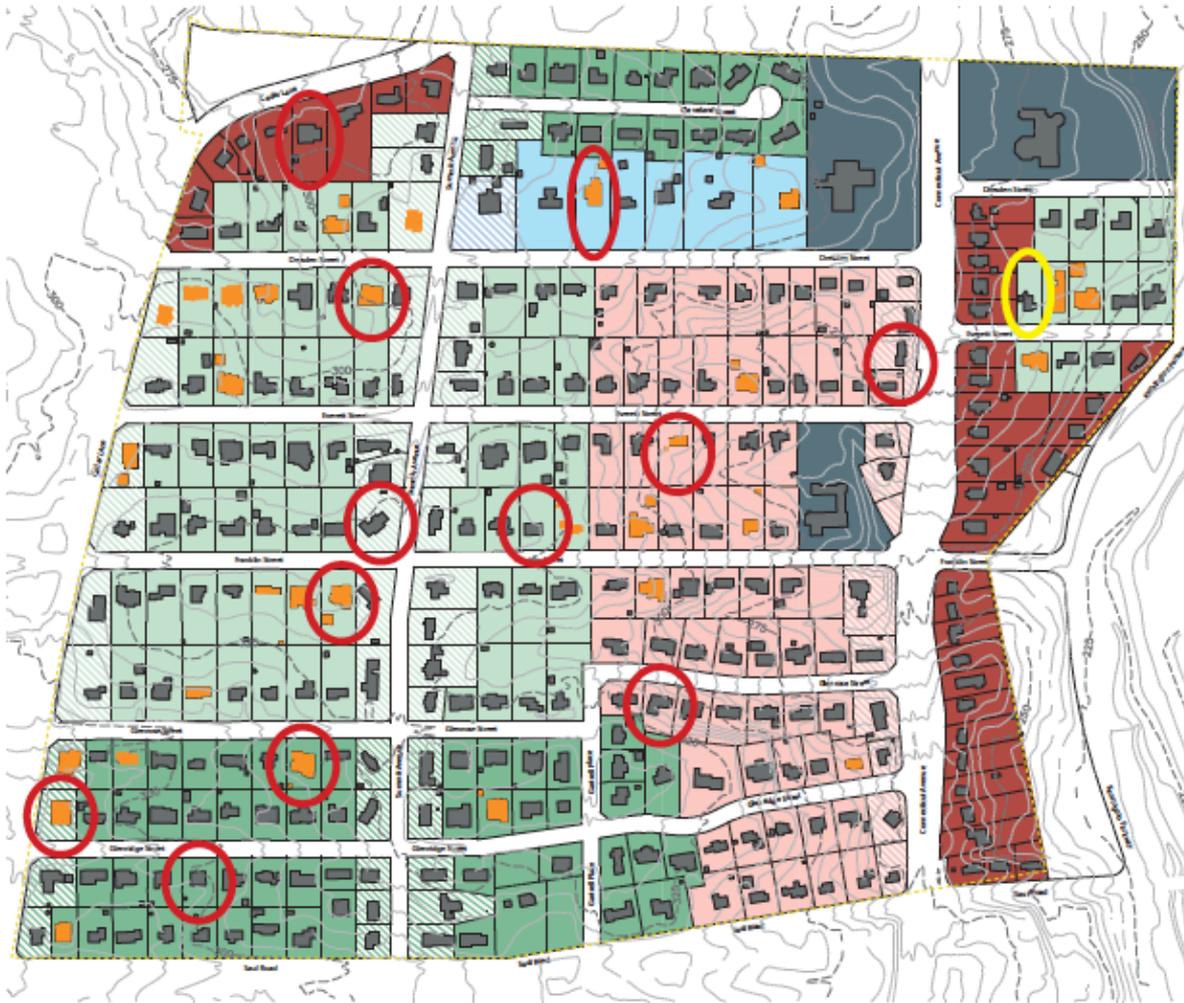
Front Elevation

Drawing Legend

-  Lot Area
-  Building Footprint
-  Lot Boundary
-  Setback Line
-  Established Building Line
-  Distance to Adjacent House
-  Mean height of sloped roof



Side Elevation

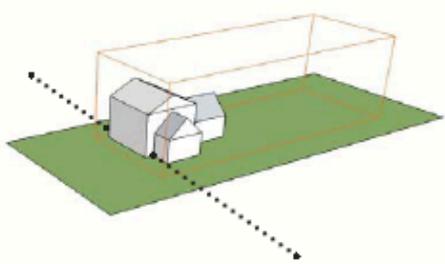


3819 Everett Street

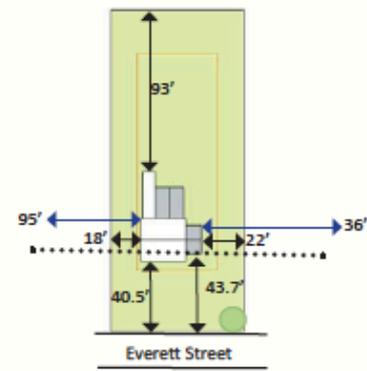
3819 Everett Street



Criteria	3819 Everett	CCV Standard
Lot Size	14,028 ft ²	
Building Footprint	1,396 ft ²	
Lot Coverage	11%	
Established Building Line	43.7'	
Front Lot Line Setback	40.5'	35' minimum
Side Line Setback	18'/22'	15' minimum
Rear Line Setback	93'	25' minimum
Accessory Bldg Side & Rear Line Setback	4'/102'	7' minimum
Permitted Projection Front & Rear Setback	N/A	5' maximum
Permitted Projection Side Setback	N/A	2' maximum
Building Height	22'	



Isometric View



Site Plan

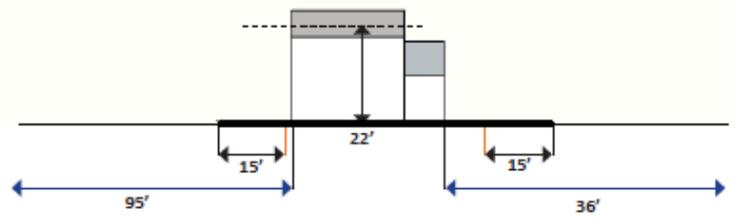
Character Area B



Drawing Legend

- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof

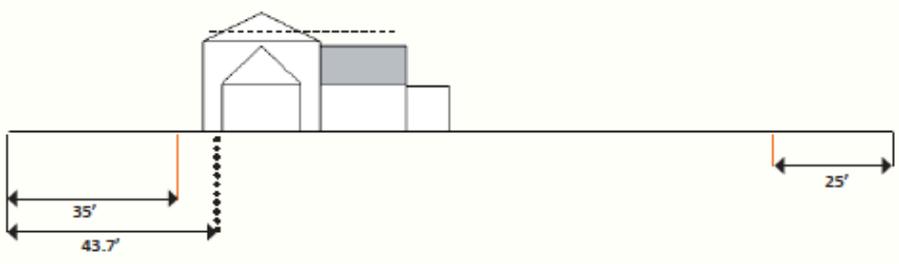
3819 Everett Street



Drawing Legend

- Lot Area
- Building Footprint
- Lot Boundary
- Setback Line
- Established Building Line
- Distance to Adjacent House
- Mean height of sloped roof

Front Elevation



Side Elevation

3. Proposed Definition of Character

Based on the results of the study, we propose the following definition of character:

Chevy Chase View is an early 20th century suburban residential village where topography, viewsheds, trees and streets interact gracefully with residential architecture.

Houses are consciously spaced in relation to streets and to one another in such a way as to preserve the natural terrain, viewsheds and tree canopy. Buildings, other improvements, and streets are integrated with, rather than imposed upon, their surroundings.

The general effect is one of overall balance and unity between structures, green spaces, and topography.

4 General Emerging Risks to the Town's Character

- Large wall plane lengths and heights that are not modified by building practices into more human scale patterns
- Weak or no attempt to break down the mass of buildings into more human scaled building forms
- Substantial change to topographic conditions on lots
- Loss of tree canopy and harmonizing vegetation

The following slides depict these risks using homes from other neighborhoods as illustrative examples.

3. Proposed Definition of Character



4 Emerging Risks to the Town's Character



Grading of lot removes green space and established terrain.

4 Emerging Risks to the Town's Character

- **Garage dominates relationship to street**
- **Front door hidden, at floor above perceived street access**



4 Emerging Risks to the Town's Character

These lots have been cleared of any tree cover other than street trees. There is no greenspace between them and there is no canopy to harmonize structures.

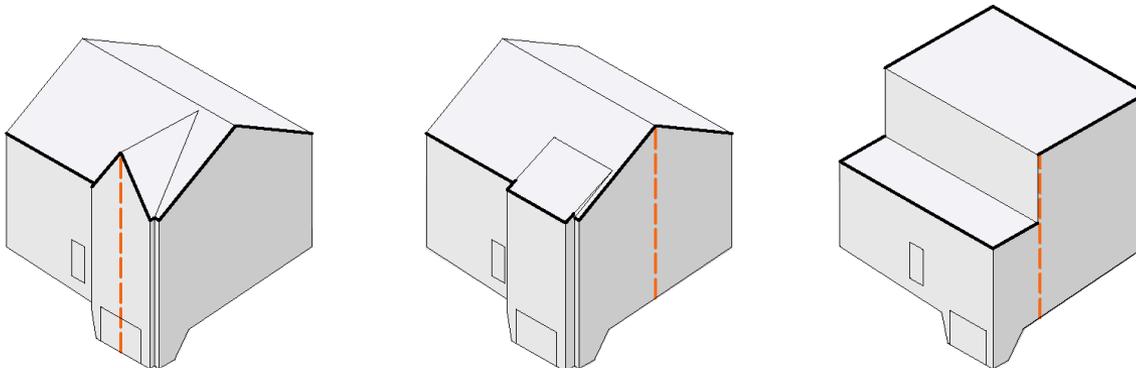


4 Area-specific: Emerging Risks to the Town's Character

Wall plane heights that are made to be taller because of the grading of a lot.

The following character areas are especially sensitive to this:

- **Areas C and C'** because the lots are only about 150 ft. deep meaning houses can project close to their neighboring houses in the back yards. Examples include Cleveland, Glenridge and Glenrose Streets.
- **Areas D and D'** on lots with slopes especially where garages, with second or third story massing above, are set at or below the elevation of the street.



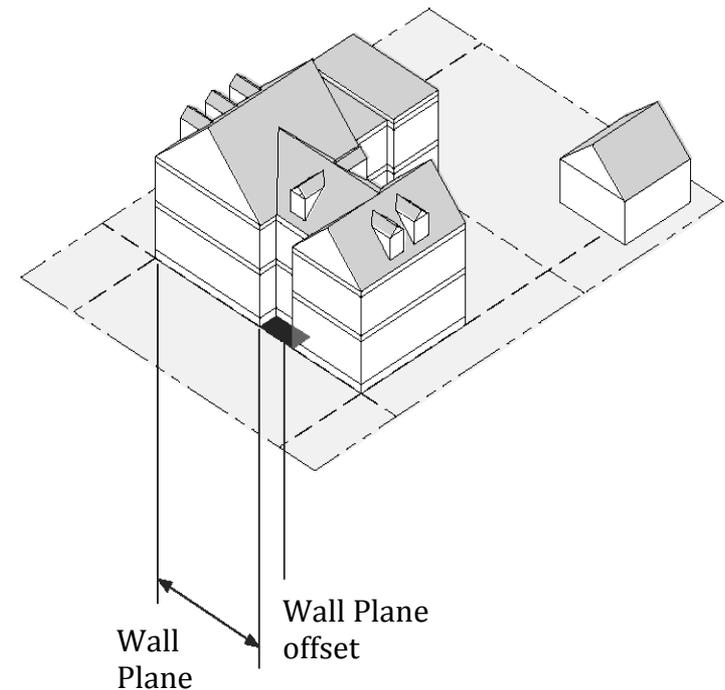
4 Area-specific: Emerging Risks to the Town's Character

Building massing is not broken into human scale patterns.

In Chevy Chase View, building massing in the side yards is especially important to character.

The following character areas are especially sensitive to this:

- **Areas B, B', C, C', D, and D'** because when houses are in close association with each other as seen from the street, they either create a sense of uniformity and balance OR conversely they project into and interfere with the established pattern.



4 Area-specific: Emerging Risks to the Town's Character

Where side yard and front yard trees and vegetation are removed and not replaced with equal or similar trees and vegetation.

In Chevy Chase View, this is without exception, a risk to all character areas.



Canopy Layer

Understory Layer

Shrub Layer



5. Conclusion and Next Steps

- Next Step: Incorporate feedback received from the Town and update the proposed character statement
- Another meeting – to socialize/discuss risks and possible risk mitigation strategies if so desired by the Town.
- Discuss how the Town would formally approve this as its character statement for use in variance proceedings?

Questions